

AN ORDINANCE      2011-10-06-0834

**AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SAN ANTONIO BY AMENDING CHAPTER 35, UNIFIED DEVELOPMENT CODE, SECTION 35-304, OF THE CITY CODE OF SAN ANTONIO, TEXAS BY CHANGING THE ZONING DISTRICT BOUNDARY OF CERTAIN PROPERTY.**

\*\*\*\*\*

**WHEREAS**, the Neighborhood Conservation District Overlay District is provided for in Chapter 35-335 of the Unified Development Code and;

**WHEREAS**, the Neighborhood Conservation District 9 (NCD-9) was identified and initiated at the direction of the Planning Director pursuant to a Westfort Alliance neighborhood petition; and

**WHEREAS**, Neighborhood Conservation District 9 (NCD-9) satisfies the designation criteria of Chapter 35-335 (b) in that it contains a minimum of one block face (all the lots on one side of a block); at least 75% of the land was improved at least 25 years ago, and is presently improved; and it possesses distinctive features which create a cohesive identifiable setting, character or association; and

**WHEREAS**, a Neighborhood Conservation District Plan was developed, and all property owners within the proposed district were afforded the opportunity to participate in drafting the Neighborhood Conservation District Plan, which shall be approved as part of the zoning ordinance creating the Neighborhood Conservation District; and

**WHEREAS**, the Zoning Commission in a public hearing on September 20, 2011, recommended approval of the Neighborhood Conservation District 9 (NCD-9); and

**WHEREAS**, a public hearing was held regarding this amendment to the Official Zoning Map at which time parties in interest and citizens were given an opportunity to be heard; and

**WHEREAS**, the Zoning Commission has submitted a final report to the City Council regarding this amendment to the Official Zoning Map of the City of San Antonio; **NOW THEREFORE**,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:**

**SECTION 1.** Chapter 35, Unified Development Code, Section 35-304, Official Zoning Map, of the City Code of San Antonio, Texas is amended by adding the zoning classification of "Neighborhood Conservation District 9" (NCD-9) to parcels within approximately 80 acres generally bound by Brackenridge and Beebe Loop Streets to the north, North Pine Street to the east, East Josephine Street to the south, and Broadway to the west, and further identified by changing the following zoning classifications:

**From "C-1 AHOD" Light Commercial Airport Hazard Overlay District to "C-1 NCD-9 AHOD" Light Commercial Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Account Number	Property Description
06300-000-0337	NCB 6300 LOT S IRR 2.2 FT STRIP OF LOTS 33, E 25 FT OF 21, & W 25 FT OF 22
06300-000-0340	NCB: 6300 BLK: LOT: 34 BEXAR COUNTY MHMR SUBD

**From "C-2 HS AHOD" Commercial Historic Significance Airport Hazard Overlay District to "C-2 HS NCD-9 AHOD" Commercial Historic Significance Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Account Number	Property Description
00006-000-0013	NCB: A-6 LOT: A-1 & A-2 & NCB 6300 LOT 33 & NCB A-47 ARB P-100

**From "C-2 RIO-1 AHOD" Commercial River Improvement Overlay-1 Airport Hazard Overlay District to "C-2 RIO-1 NCD-9 AHOD" Commercial River Improvement Overlay-1 Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Account Number	Property Description
00006-000-0021	NCB A-6 BLK LOT N TRI 174.85 FT OF W TRI 228 FT OF A-1 ARB B-1
00006-000-0031	NCB A-6 BLK LOT 3
01763-033-0010	NCB 1763 BLK 33 LOT 1
01763-033-0020	NCB 1763 BLK 33 LOT 2
01763-033-0030	NCB 1763 BLK 33 LOT 3
01763-033-0040	NCB 1763 BLK 33 LOT 4
01763-033-0070	NCB 1763 BLK 33 LOT 7, 8, 9, 10 & N 25 FT OF 11
01763-033-0110	NCB 1763 BLK 33 LOT W 50 FT OF S 25 FT OF 11 & W 50 FT OF 12
01763-033-0120	NCB 1763 BLK 33 LOT S 25 FT OF E 50 FT OF 11 & E 50 FT OF 12
01764-027-0010	NCB 1764 BLK 27 LOT 1&2, S25 FT OF 3
01764-027-0030	NCB 1764 BLK 27 LOT N 25 FT OF 3 & S 40 FT OF 4
01764-027-0050	NCB 1764 BLK 27 LOT 5, 6 & N 10 FT OF 4
01764-027-0070	NCB 1764 BLK 27 LOT S 45.4 FT OF 9 & N 5 FT OF 10
01764-027-0080	NCB 1764 BLK 27 LOT S 45.4 FT OF 8 & N 4.6 FT OF 9
01764-027-0090	NCB 1764 BLK 27 LOT 7 & N 4.6 FT OF 8
01764-027-0100	NCB 1764 BLK 27 LOT 11 12 & S 45 FT OF 10
03593-001-0010	NCB 3593 BLK 1 LOT 1, 2 & 3
03593-001-0440	NCB 3593 BLK 1 LOT 44, 50 & 51
03594-002-0012	NCB 3594 BLK 2 LOT 1,2, 3 & W IRR 136.5 FT OF A-23

03856-002-0140      NCB 3856 BLK    2 LOT 14 AND 15  
03857-000-0080      NCB 3857 BLK    LOT    8

**From "C-3NA RIO-1 AHOD" General Commercial Nonalcoholic Sales River Improvement Overlay-1 Airport Hazard Overlay District to "C-3NA RIO-1 NCD-9 AHOD" General Commercial Nonalcoholic Sales River Improvement Overlay-1 Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Bexar County  
Appraisal District  
Account Number

	Property Description
00006-000-0022	NCB A-6 BLK    LOT    S IRRG 80 FT OF W TRI 228 FT OF A-1 ARB B-2
01763-033-0050	NCB 1763 BLK    33 LOT 5&6

**From "I-1 RIO-1 AHOD" General Industrial River Improvement Overlay-1 Airport Hazard Overlay District to "I-1 RIO-1 NCD-9 AHOD" General Industrial River Improvement Overlay-1 Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Bexar County  
Appraisal District  
Account Number

	Property Description
03594-100-0000	NCB 3594 BLK 2    LOT 23    THE COURTYARD AT BRACKENRIDGE PARK
03857-000-0090	NCB 3857 BLK    LOT 9 (BROADWAY DEV SUBD)

**From "MF-33 AHOD" Multi-Family Airport Hazard Overlay District to "MF-33 NCD-9 AHOD" Multi-Family Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Bexar County  
Appraisal District  
Account Number

	Property Description
03855-001-0011	NCB 3855 BLK    1 LOT 1 THRU 4

**From "O-2 AHOD" High-Rise Office Airport Hazard Overlay District to "O-2 NCD-9 AHOD" High-Rise Office Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Bexar County  
Appraisal District  
Account Number

	Property Description
06300-000-0010	NCB 6300 BLK    LOT 1
06300-000-0020	NCB 6300 BLK    LOT 2
06300-000-0030	NCB 6300 BLK    LOT 3
06300-000-0040	NCB 6300 BLK    LOT 4

06300-000-0050	NCB 6300 BLK	LOT 5
06300-000-0060	NCB 6300 BLK	LOT 6
06300-000-0070	NCB 6300 BLK	LOT 7
06300-000-0080	NCB 6300 BLK	LOT 8
06300-000-0090	NCB 6300 BLK	LOT 9
06300-000-0100	NCB 6300 BLK	LOT 10
06300-000-0113	NCB 6300 BLK	LOT E 25 FT OF 11 & 22
06300-000-0230	NCB 6300 BLK	LOT 23
06300-000-0240	NCB 6300 BLK	LOT 24
06300-000-0250	NCB 6300 BLK	LOT 25
06300-000-0260	NCB 6300 BLK	LOT 26
06300-000-0270	NCB 6300 BLK	LOT 27
06300-000-0280	NCB 6300 BLK	LOT 28 W 7 FT OF 29
06300-000-0290	NCB 6300 BLK	LOT E 43 OF 29
06300-000-0300	NCB 6300 BLK	LOT 30
06300-000-0310	NCB 6300 BLK	LOT 31
06300-000-0320	NCB 6300 BLK	LOT 32

**From "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District to "R-6 NCD-9 AHOD" Residential Single-Family Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Bexar County  
Appraisal District  
Account Number

Account Number	Property Description
03593-001-0040	NCB 3593 BLK 1 LOT 4 & 5
03593-001-0090	NCB 3593 BLK 1 LOT 9
03593-001-0120	NCB 3593 BLK 1 LOT 12 W 10 FT OF 13
03593-001-0140	NCB 3593 BLK 1 LOT 14 E 40 FT OF 13
03593-001-0240	NCB 3593 BLK 1 LOT 24 & SE 2 FT OF 23
03593-001-0330	NCB 3593 BLK 1 LOT 33
03593-001-0372	NCB 3593 BLK 1 LOT 37 & 38
03593-001-0390	NCB 3593 BLK 1 LOT 39
03593-001-0400	NCB 3593 BLK 1 LOT 40
03594-002-0090	NCB 3594 BLK 2 LOT 9
03594-002-0210	NCB 3594 BLK 2 LOT 21 E 1/2 OF 20
03855-001-0140	NCB 3855 BLK 1 LOT 14, W 25 FT OF 13 & E 10 FT OF 15
03855-001-0150	NCB 3855 BLK 1 LOT W 40 FT OF 15 & E 30 FT OF 16
03855-001-0170	NCB 3855 BLK 1 LOT 17 & W 20 FT OF 16
03855-001-0200	NCB 3855 BLK 1 LOT 20
03855-001-0210	NCB 3855 BLK 1 LOT 21
03855-001-0260	NCB 3855 BLK 1 LOT E 48 FT OF 26 & W 25 FT OF 27
03855-001-0281	NCB 3855 BLK 1 LOT W. 25 FT OF 30
03855-001-0282	NCB 3855 BLK 1 LOT 28,29, & E.25 FT OF 27
03855-001-0310	NCB 3855 BLK 1 LOT 31
03855-001-0321	NCB 3855 BLK 1 LOT 32 & W 45FT OF 33
03855-001-0342	NCB 3855 BLK 1 LOT 34 & E 5 FT OF 33
03856-002-0010	NCB 3856 BLK 2 LOT 1&2
03856-002-0030	NCB 3856 BLK 2 LOT 3 & SE 1 FT X 66.97 FT OF 4

03856-002-0070	NCB 3856	BLK	2 LOT 7
03856-002-0080	NCB 3856	BLK	2 LOT 8
03856-002-0190	NCB 3856	BLK	2 LOT 19
03856-002-0200	NCB 3856	BLK	2 LOT 20, 21 & 22
03858-004-0050	NCB 3858	BLK	4 LOT 5, 6 & E 25 FT OF 7
03858-004-0090	NCB 3858	BLK	4 LOT 9
03858-004-0120	NCB 3858	BLK	4 LOT 12, 13 & W 25 FT OF 11
03858-004-0140	NCB 3858	BLK	4 LOT 14 & E 25 FT OF 15
03858-004-0190	NCB 3858	BLK	4 LOT 19
03858-004-0200	NCB 3858	BLK	4 LOT 20
03858-004-0210	NCB 3858	BLK	4 LOT 21
03858-004-0220	NCB 3858	BLK	4 LOT 22
03858-004-0230	NCB 3858	BLK	4 LOT 23
03858-004-0260	NCB 3858	BLK	4 LOT 26
03858-004-0270	NCB 3858	BLK	4 LOT 27
03858-004-0280	NCB 3858	BLK	4 LOT 28
03858-004-0290	NCB 3858	BLK	4 LOT 29
03858-004-0300	NCB 3858	BLK	4 LOT 30
03858-004-0310	NCB 3858	BLK	4 LOT 31
03858-004-0320	NCB 3858	BLK	4 LOT 32

**From "RM-4 AHOD" Residential Mixed Airport Hazard Overlay District to "RM-4 NCD-9 AHOD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Bexar County

Appraisal District

Account Number

Property Description

03593-001-0060	NCB 3593	BLK	1 LOT 6&7 8
03593-001-0100	NCB 3593	BLK	1 LOT 10 11
03593-001-0230	NCB 3593	BLK	1 LOT 23,EXC SE 2 FT & E 1/2 OF 22
03593-001-0250	NCB 3593	BLK	1 LOT 25
03593-001-0260	NCB 3593	BLK	1 LOT 26 E 37.5 FT OF 27
03593-001-0270	NCB 3593	BLK	1 LOT W 12.5 FT OF 27 & E 37.5 FT OF 28
03593-001-0290	NCB 3593	BLK	1 LOT 29 & W 12.5 FT OF 28
03593-001-0300	NCB 3593	BLK	1 LOT 30
03593-001-0350	NCB 3593	BLK	1 LOT 35 36
03593-001-0410	NCB 3593	BLK	1 LOT 41
03594-002-0080	NCB 3594	BLK	2 LOT 8 E 1/2 OF 7
03594-002-0150	NCB 3594	BLK	2 LOT 15
03594-002-0160	NCB 3594	BLK	2 LOT 16 & W 25 FT OF 17
03594-002-0180	NCB 3594	BLK	2 LOT 18 E 1/2 OF 17
03594-002-0190	NCB 3594	BLK	2 LOT 19 & W 25 FT OF 20
03855-001-0060	NCB 3855	BLK	1 LOT 6 & W 25 FT OF 5
03855-001-0070	NCB 3855	BLK	1 LOT 7 AND E 5 FT OF 8
03855-001-0090	NCB 3855	BLK	1 LOT 9, 10, 11, 24, 25, W 45 FT OF 8 & W 2 FT OF 26
03855-001-0120	NCB 3855	BLK	1 LOT 12 & E 25 FT OF 13
03855-001-0220	NCB 3855	BLK	1 LOT 22 AND 23
03856-002-0060	NCB 3856	BLK	2 LOT 6

03856-002-0260	NCB 3856 BLK	2 LOT 26 AND 27
03858-004-0040	NCB 3858 BLK	4 LOT 4
03858-004-0080	NCB 3858 BLK	4 LOT 8 & W 25 FT OF 7
03858-004-0100	NCB 3858 BLK	4 LOT 10 & E 25 FT OF 11
03858-004-0240	NCB 3858 BLK	4 LOT 24 AND 25

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a 3-unit multi-family dwelling to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a 3-unit multi-family dwelling for the following properties:**

Bexar County

Appraisal District

Account Number

Property Description

03593-001-0320	NCB 3593 BLK	1 LOT 32
03856-002-0040	NCB 3856 BLK	2 LOT 4 EXCEPT SE 1 FT X 66.97 FT
03856-002-0090	NCB 3856 BLK	2 LOT 9

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a 4-unit multi-family dwelling to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a 4-unit multi-family dwelling for the following properties:**

Bexar County

Appraisal District

Account Number

Property Description

03593-001-0170	NCB 3593 BLK	1 LOT 17
03593-001-0210	NCB 3593 BLK	1 LOT E 25 FT OF 21 & W 25 FT OF 22
03593-001-0310	NCB 3593 BLK	1 LOT 31
03593-001-0420	NCB 3593 BLK	1 LOT 42
03594-002-0110	NCB 3594 BLK	2 LOT 11 & W 25 FT OF 12
03594-002-0140	NCB 3594 BLK	2 LOT 14 E 5 FT OF 13
03855-001-0190	NCB 3855 BLK	1 LOT 19
03856-002-0050	NCB 3856 BLK	2 LOT 5
03856-002-0180	NCB 3856 BLK	2 LOT 18
03856-002-0230	NCB 3856 BLK	2 LOT 23
03858-004-0170	NCB 3858 BLK	4 LOT 17 AND 18
03593-001-0200	NCB 3593 BLK	1 LOT 20 & W 25 FT OF 21
03594-002-0041	NCB 3594 BLK	2 LOT 4, W IRR 38 FT OF 5 & E 75 FT OF W 211.50 FT OF A23
03594-002-0120	NCB 3594 BLK	2 LOT E 25 FT OF 12 & W 45 FT OF 13
03856-002-0160	NCB 3856 BLK	2 LOT 16 AND 17
03856-002-0240	NCB 3856 BLK	2 LOT 24 & 25

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a 5-unit multi-family dwelling to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a 5-unit multi-family dwelling for the following properties:**

Bexar County

Appraisal District

Account Number	Property Description
03594-002-0100	NCB 3594 BLK 2 LOT 10
03856-002-0100	NCB 3856 BLK 2 LOT 10
03593-001-0150	NCB 3593 BLK 1 LOT 15 & 16

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a 6-unit multi-family dwelling to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a 6-unit multi-family dwelling for the following properties:**

Bexar County

Appraisal District

Account Number	Property Description
03858-004-0160	NCB 3858 BLK 4 LOT 16 & W 25 FT OF 15

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a Family Residence to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a Family Residence for the following properties**

Bexar County

Appraisal District

Account Number	Property Description
03593-001-0180	NCB 3593 BLK 1 LOT 18 19

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a Christian Ministry Boarding House to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a Christian Ministry Boarding House for the following properties:**

Bexar County

Appraisal District

Account Number	Property Description
03594-002-0062	NCB 3594 BLK 2 LOT 6, E IRR 12 FT OF 5 & W 25 FT OF 7 & E TRI 75 FT OF A23

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a Duplex plus Duplex to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a Duplex plus Duplex for the following properties:**

Bexar County	
Appraisal District	
Account Number	Property Description
03858-004-0010	NCB 3858 BLK 4 LOT 1

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a Single Family Duplex to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a Single Family Duplex for the following properties:**

Bexar County	
Appraisal District	
Account Number	Property Description
03855-001-0180	NCB 3855 BLK 1 LOT 18

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a Single Family plus Duplex to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a Single Family plus Duplex for the following properties:**

Bexar County	
Appraisal District	
Account Number	Property Description
03594-002-0220	NCB 3594 BLK 2 LOT 22
03858-004-0020	NCB 3858 BLK 4 LOT 2
03858-004-0030	NCB 3858 BLK 4 LOT 3

**From "RM-4 AHOD CD" Residential Mixed Airport Hazard Overlay District with a Conditional Use for a Single Family plus Single Family to "RM-4 NCD-9 AHOD CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a Single Family plus Single Family for the following properties:**

Bexar County	
Appraisal District	
Account Number	Property Description
03593-001-0340	NCB 3593 BLK 1 LOT 34
03593-001-0430	NCB 3593 BLK 1 LOT 43

**From "RM-4 AHOD HS CD" Residential Mixed Airport Hazard Overlay District Historic Significance with a Conditional Use for a 5 Unit Apartment, Duplex, Single Family Residence with City Council Approval for Bed and Breakfast to "RM-4 NCD-9 AHOD HS CD" Residential Mixed Westfort Neighborhood Conservation District Airport Hazard Overlay District Historic Significance with a Conditional Use for a 5 Unit Apartment, Duplex, Single Family Residence with City Council Approval for Bed and Breakfast for the following properties:**

Bexar County	
Appraisal District	
Account Number	Property Description
03593-001-0150	NCB 3593 BLK 1 LOT 15 & 16

**From "C2 RIO-1 AHOD CD" Commercial River Improvement Overlay-1 Airport Hazard Overlay District with a Conditional Use for a Muffler Shop to "C2 RIO-1 NCD-9 AHOD CD" Commercial River Improvement Overlay-1 Westfort Neighborhood Conservation District Airport Hazard Overlay District with a Conditional Use for a Muffler Shop for the following properties:**

Bexar County	
Appraisal District	
Account Number	Property Description
03856-002-0112	NCB 3856 BLK 2 LOT 11(.1905) 12C(.1905), 13 (.20900)

**From "MF-25 PUD RIO-1 AHOD" Multi-Family Planned Unit Development River Improvement Overlay-1 Airport Hazard Overlay District to "MF-25 PUD RIO-1 NCD-9 AHOD" Multi-Family Planned Unit Development River Improvement-1 Westfort Neighborhood Conservation District Airport Hazard Overlay District for the following properties:**

Bexar County	
Appraisal District	
Account Number	Property Description
03857-000-0051	NCB 3857 BLK LOT 5
03857-000-0060	NCB 3857 BLK LOT 6

**SECTION 2.** The Neighborhood Conservation Plan for Neighborhood Conservation District 9 (NCD-9) is hereby approved. The Neighborhood Conservation Plan for Neighborhood Conservation District 9 (NCD-9) is attached hereto and incorporated herein for all purposes as **ATTACHMENT "A"**.

**SECTION 3.** The Director of Development Services shall change the zoning records and maps in accordance with this ordinance and the same shall be available and open to the public for inspection.

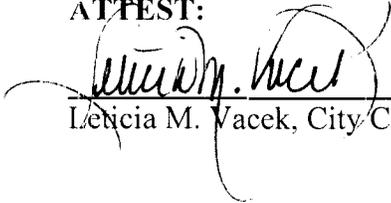
SECTION 4. This Ordinance shall take effect October 16, 2011.

PASSED AND APPROVED this 6<sup>th</sup> day of October 2011

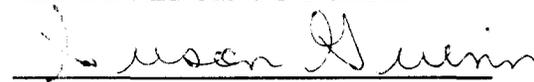


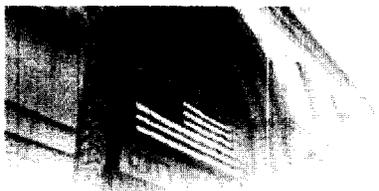
M A Y O R  
Julián Castro

ATTEST:

  
\_\_\_\_\_  
Leticia M. Vacek, City Clerk

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Michael D. Bernard, City Attorney  
for



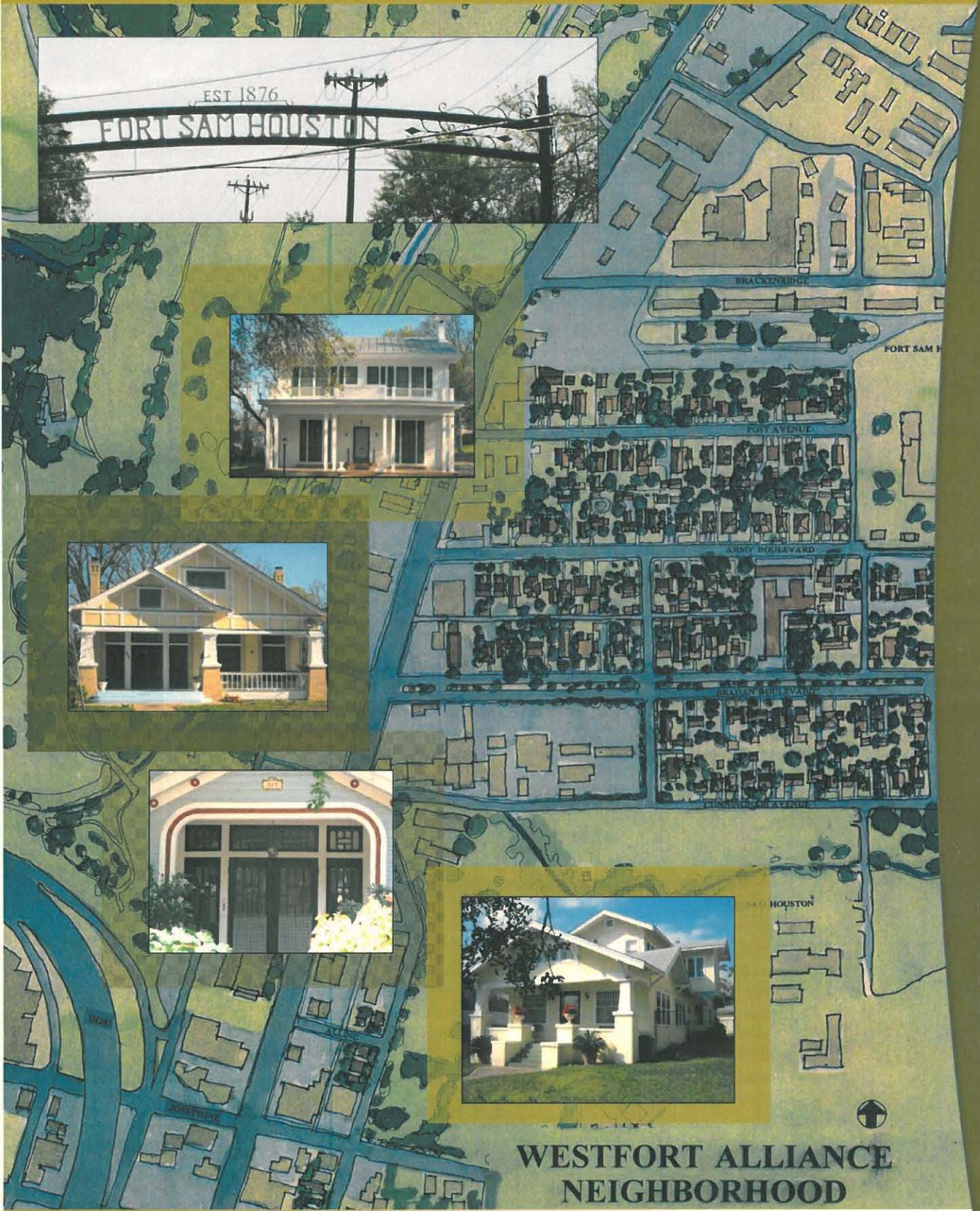
Request for  
**COUNCIL**  
**ACTION**

City of San Antonio



## Agenda Voting Results - Z-1

<b>Name:</b>	P-1, P-2, Z-1, Z-4, Z-6, Z-7, Z-8, Z-9, Z-10, Z-12						
<b>Date:</b>	10/06/2011						
<b>Time:</b>	02:20:15 PM						
<b>Vote Type:</b>	Motion to Approve						
<b>Description:</b>	ZONING CASE #Z2011185 (District 2): An Ordinance amending the Zoning District Boundary from multiple zoning districts to multiple zoning districts with the adoption and application of the Westfort Alliance Neighborhood Conservation District (NCD-9) on multiple lots generally bound by Brackenridge and Beebe Streets to the north, North Pine Street to the east, East Josephine Street to the south, and Broadway to the west. Staff recommends approval. Zoning Commission recommendation pending September 20, 2011 public hearing.						
<b>Result:</b>	Passed						
<b>Voter</b>	<b>Group</b>	<b>Not Present</b>	<b>Yea</b>	<b>Nay</b>	<b>Abstain</b>	<b>Motion</b>	<b>Second</b>
Julián Castro	Mayor		x				
Diego Bernal	District 1		x			x	
Ivy R. Taylor	District 2		x				
Jennifer V. Ramos	District 3	x					
Rey Saldaña	District 4	x					
David Medina Jr.	District 5	x					
Ray Lopez	District 6		x				
Cris Medina	District 7		x				
W. Reed Williams	District 8		x				x
Elisa Chan	District 9		x				
Carlton Soules	District 10	x					



Neighborhood Conservation District

WESTFORT ALLIANCE  
NEIGHBORHOOD



# Westfort Alliance

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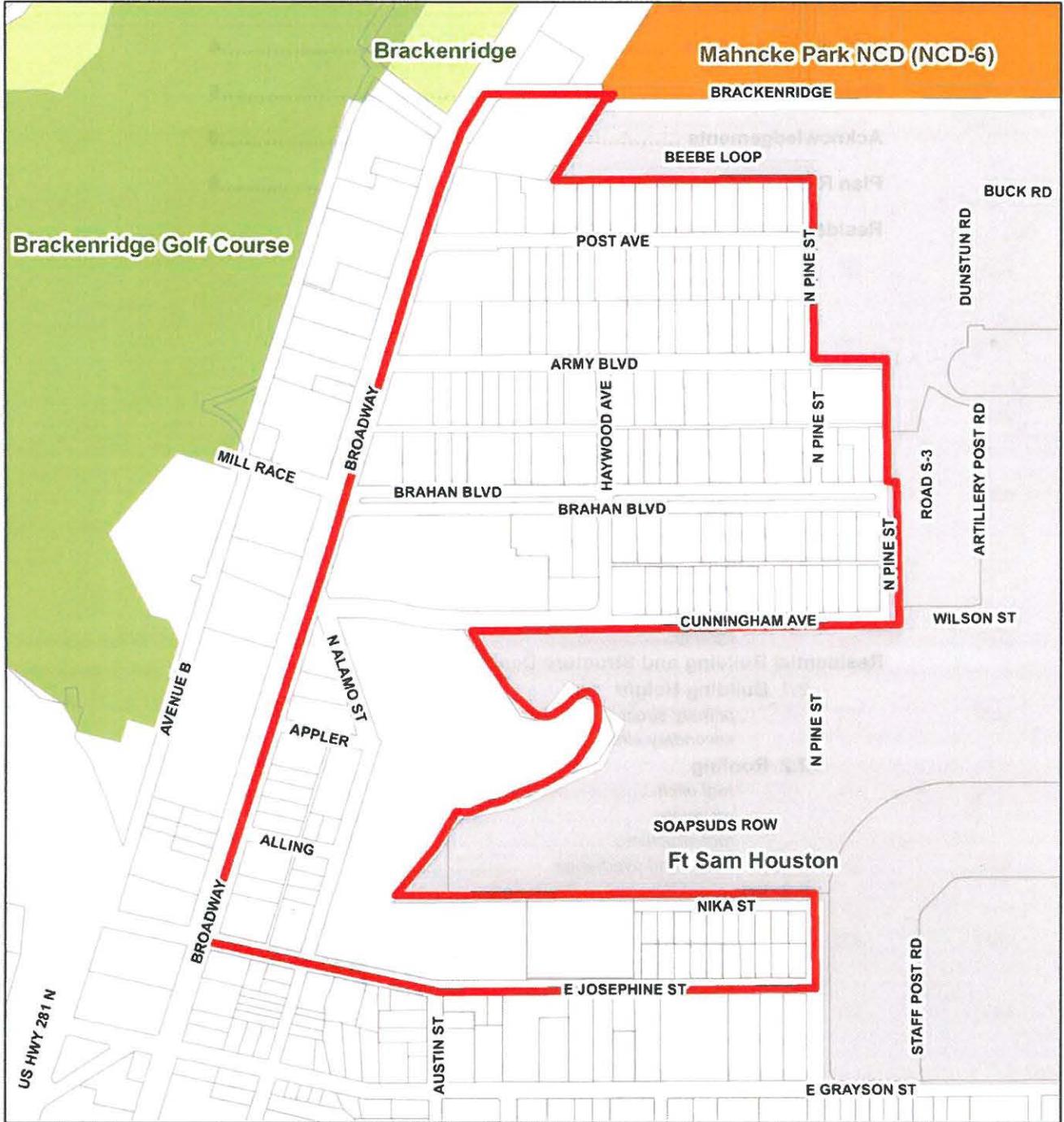
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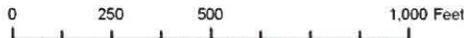
# Westfort Alliance Neighborhood Conservation District

City of San Antonio



Map Created by: Davy Edmond  
Map Description: Name Map  
Map Last Edited: May 3, 2011  
PCF Filename: 222222.pcf

Data Source: City of San Antonio Enterprise GIS (Base Map 911, Base Appraisal District)  
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## PLAN SUMMARY

In response to the City's 1997 Master Plan and the 1998 Community Revitalization Action Group (CRAG) Report, the concept of the Neighborhood Conservation District (NCD) was determined to be a proactive tool to use to address neighborhood sustainability through compatible infill construction and rehabilitation in unique areas of the city. Since the adoption of the NCD enabling ordinance and development of the NCD program, eight (8) NCDs have been designated by City Council: South Presa Street/ South St. Mary's Street (NCD-1), Alta Vista (NCD-2), Ingram Hills (NCD-3), Whispering Oaks (NCD-4), Beacon Hill (NCD-5), Mahncke Park (NCD-6), Jefferson (NCD-7), and Woodlawn Lake Area (NCD-8).

The Westfort Alliance neighborhood was selected for NCD designation after successfully petitioning the Planning and Community Development Department. The interest to create a conservation district for the Westfort Alliance neighborhood stems from renewed public and private interests to develop in and around the River North and Broadway corridor areas. At the center of an area in transition, the neighborhood pro-actively petitioned for this designation to protect and preserve the current housing stock and established neighborhood character. This document provides design standards for new development and rehabilitative projects, and serves to identify significant neighborhood characteristics that are reflected in the design standards. Each property within the NCD area has been surveyed in order to capture the character defining features of the housing stock, building arrangement, streetscape configuration, and the collective form of the neighborhood.

There are approximately 157 parcels within the 97-acre neighborhood boundary. Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district is improved or developed. The Westfort Alliance NCD meets the ordinance requirement with 84% of the land area containing structures that are at least 25 years old and presently improved. According to Bexar County Appraisal data, 82% of the Westfort neighborhood structures were built prior to 1960.

Various styles of 1-story and 2-story Craftsman architecture are prevalent throughout the neighborhood. In addition, a mixture of pre and post-World War II modern, Classical Revival, Queen Anne, Craftsman Bungalow, and Cottage style homes contribute to the diverse architectural character of the area. While the architecture is an important feature, the design standards found in this document do not intend to enforce architectural style, but are crafted to perpetuate historical arrangements of buildings, scale, massing of building volumes, celebrate the original character of buildings, de-emphasize and conceal spaces designed for the automobile, increase the amount and quality of spaces designed for interaction between neighbors and preserve the visual appeal of the entire area. Design standards are not intended to make improvements or development more costly.

The completion of the designation process brings to fruition the neighborhood's vision of protecting and preserving the unique character of the Westfort neighborhood. This designation meets the intent and upholds the spirit of the Neighborhood Conservation District Program.

\*\*\*Civic buildings and religious sanctuaries are exempt from the design standards of this document.

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**ACKNOWLEDGEMENTS**

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WESTFORT NEIGHBORHOOD AERIAL



NCD 9

PROJECT PERMITTING AND REVIEW PROCESS

The **Westfort Alliance Neighborhood Conservation District (NCD)** design standards apply to new construction projects and to improvements or renovations to existing structures where the work may or may not require a building permit and is specifically governed by the NCD design standards. In the case of ordinary repair and maintenance, existing non-compliant structures or conditions shall not be required to conform to the design standards, although any modification shall not increase the non-conforming condition.

**NEW CONSTRUCTION**

Although the **Westfort Alliance neighborhood** is an established, developed area, there may be opportunities for development of vacant lots and demolition of structures for new construction. Applicants are advised to consult the design standards found in this document for guidance to specific projects. City staff will review all permit applications requests to ensure compliance with these standards prior to the issuance of any permit. This review process does not increase the normal review period. For some projects the permit request may be reviewed and issued at the time of submittal. The Neighborhood Conservation District staff will work diligently with applicants to ensure a timely and thorough review.

To facilitate the NCD permitting review process, at a minimum, submitted building plans for new construction shall include the following: <sup>1</sup>

**Site Plan drawn to scale**

- Location and dimensions of building footprint(s) for all structures, existing and proposed
- Location and dimensions for all sidewalks, existing and proposed
- Location, dimensions, and materials for all fencing, existing and proposed
- Driveway and curb cut location/ dimensions, existing and proposed
- Garage and/ or Carport (if any) location/ dimensions
- Location and dimensions of all HVAC equipment
- Calculation of front façade area, including all fenestrations (doors, windows, openings)

- **Front elevations** (and side elevations, if a corner lot)
- **Front porch detail**
- **Building materials**
- **Roof pitch and materials**
- **Front window proportions/ type of windows**
- **Front setback of adjacent properties**

<sup>1</sup> For clarification, NCD staff may request additional information including drawings, photos, illustrations, and/or dimensions in order to demonstrate compliance with the Westfort Alliance NCD design standards.

## REMODELS / REHABILITATIONS / ADDITIONS

Building permits are required for most home rehabilitation projects. In order to accurately determine if a permit request meets the **Westfort Alliance** NCD design standards, a permit application must demonstrate compliance with the NCD standards. To facilitate a timely permit review process, a permit application must include detailed project information that may include photographs, drawings, sketches, written narrative, and/or dimensions. Additionally, an applicant may be required to submit a site plan showing the dimension and location of the proposed remodel or rehabilitation project. The NCD review staff may require additional information to better understand the scope of work and to ensure that the permit will meet the residential design standards of the Westfort Alliance NCD. <sup>2</sup>

The most frequently requested permits for rehabilitation, remodels, and additions include:

- **Siding or Façade Modification**
- **Room Addition**
- **Change/ Replace Windows**
- **Enclose or Partially Enclose Front Porch**
- **New or Replacement Fencing**

<sup>2</sup> *Additional information may be required in order to demonstrate compliance with the Westfort Alliance Neighborhood Conservation District design standards.*



Building permits can be obtained at the City of San Antonio's Cliff Morton Development and Business Services Center, located at 1901 S. Alamo.

# NCD Design Standards

The Westfort Alliance Neighborhood Conservation District (NCD) design standards are divided into three sections. Section 1 includes site design standards, excluding any structure or building component. Section 2 provides the structural and building design standards, and Section 3 covers multi-family design standards for developments greater than four units.

Although the NCD boundary includes commercial properties on a portion of the east side of Broadway, these **design standards apply only to residential and multi-family structures**. Each design standard section is explained with a brief intent paragraph and supported with graphical references, illustrations, and images.

## 1. Site Design Standards

Site design standards address lot size, lot coverage, building setbacks, impervious cover (driveways and sidewalks), fencing, utilities, and other non-building or non-structural features. Collectively, these items influence the form, layout, and placement of buildings and other structures. These standards contributes to the overall character of the Westfort Alliance Neighborhood.

### 1.1 Lot Size and Coverage

*It is the desire of the neighborhood to maintain the scale and form of the existing streetscape. Although a variety of lot sizes exist throughout the Westfort neighborhood, the intent of managing lot size and coverage is to provide appropriate lot configurations within existing conditions. For new development, including potentially large-scale redevelopment, the lot size and coverage design standards are intended to guide developers in creating an appropriately scaled lot layout by respecting the existing neighborhood form and lot arrangement.*

#### Combining Lots/ Lot assemblage

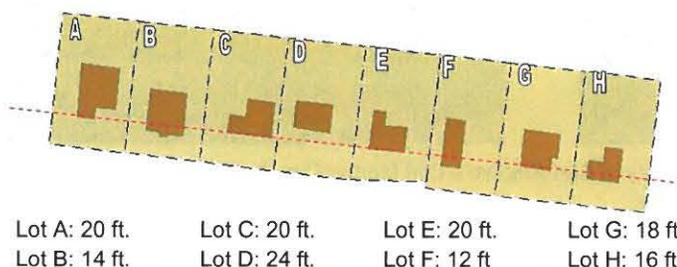
1.1.1 The lot size of any re-platted residential parcel shall not be increased or decreased by 20% or more of the total lot size.

#### Common Lot Lines

1.1.2 Structures built over a common lot line are not permitted.

#### Building Setbacks

1.1.3 The front building setback shall be within five feet (5' - 0") of the median block setback. For newly developed areas for which no comparable block setback is available, the minimum setback shall be 20 feet from the property line.



To calculate the median block setback, arrange the setbacks in order:  
12, 14, 16, 18, 20, 20, 20, 24

$$(18 + 20) / 2 = 19 (+/- 5 ft)$$

**For new construction, the setback in this example shall be between 14 and 24 feet.**

## 1.2 Walkways

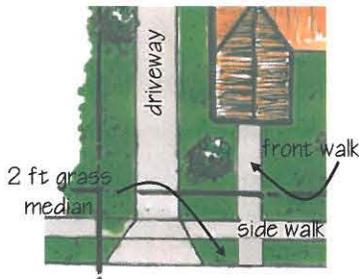
The Westfort neighborhood streetscape character is greatly influenced by sidewalks. Eighty four percent of the Westfort Neighborhood parcels include a front walk. Side and front walks promote pedestrian activity by providing accessible paths throughout the neighborhood. The configuration, form, and layout of these walkways are a significant character defining neighborhood feature. The standards for paving and hardscape covering are intended to preserve this arrangement.

### Front Walks

- 1.2.1 A front walk shall be constructed from the front porch of the primary dwelling structure to the front street or public sidewalk. The front walk shall be between three feet (3' - 0") and four feet (4' - 0") in width and may be constructed of concrete, stone pavers, or crushed granite. The front walk may flare from the front porch at an angle of 45 degrees or less, and shall be no wider than six feet (6' - 0") at the widest point of the flare. There shall be a four foot (4' - 0") minimum grass or similar separation between the front walk and driveway. The front walk shall extend to the street or curb, within the public right-of-way, and shall match any adjacent or connecting side walk material.



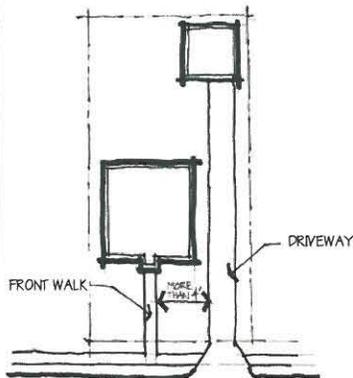
Front Walk Flare



Typical neighborhood sidewalk configuration (Army Blvd)

### Side Walks

- 1.2.2 A maximum of a three foot (3' - 0") wide side walk may be constructed to connect the front walk to the driveway. This connecting walk shall be placed no greater than six feet (6' - 0") from the front facade of the primary structure.



- 1.2.3 Side walks parallel to the front property line shall match and connect to adjacent side walks. For new development, including City initiated side walk projects, front side walks shall be separated from the curb or street by a grassy median of not less than two feet (2' - 0") in width. The existing side walk configuration within established areas of the Westfort neighborhood shall be maintained, unaltered, and preserved.

### Materials

- 1.2.4 Asphalt, fabricated turf, and/or similar materials are not permitted.



A vegetative separation between the front walk and driveway discourages massing of impervious front yard covering.

A front walk extends from the front porch to the street and runs parallel to the driveway.

### 1.3 Impervious Cover and Driveway Configuration

The mature tree-lined streetscape and greenspace is a dominant character defining feature of the Westfort neighborhood. The greenspace collectively provided by each property creates a desirable and visually attractive streetscape.

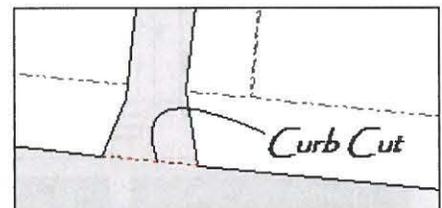
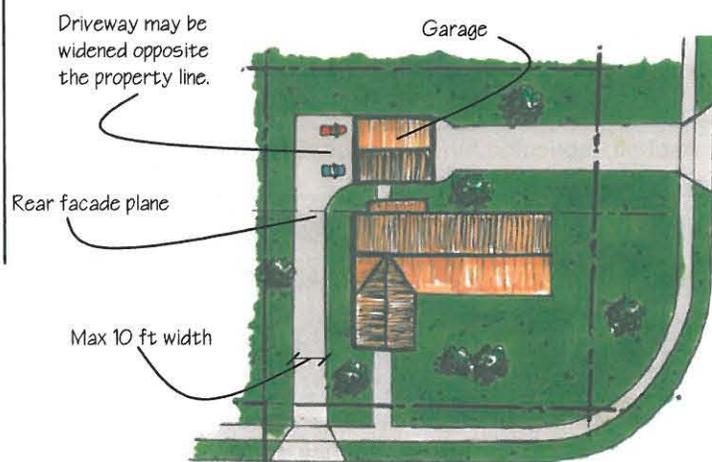
The importance of driveway configuration standards is to minimize the amount of impervious cover, preserve the original streetscape development pattern of the neighborhood, and maintain the character and charm of the streetscape. Sixty four percent of the neighborhood parcels include single width driveways. Additionally, 16% include no primary street driveway. These properties rely on an alley easement for vehicular ingress/ egress. It is the desire of the Westfort Neighborhood to maintain this parking arrangement and to minimize the impervious cover footprint of the streetscape.

#### Driveways

- 1.3.1 The existing parking arrangement, driveways, curb cuts, and streetscape configuration shall be preserved and maintained. Properties without front driveways shall maintain the current form and parking arrangement (e.g., alley access) New or additional driveways in established residential areas shall not be permitted.
- 1.3.2 Driveways located in the front and side yards shall maintain a maximum width of ten feet (10' - 0").
- 1.3.3 Driveways or parking pads shall not terminate at the front facade of any non-parking or garage structure.
- 1.3.4 Driveway curb flares shall not extend greater than one and a half feet (1' - 6") on each side of the driveway. Maximum width of the curb cut is twelve feet (13' - 0").  
[10' + 1'-6" + 1'-6"]
- 1.3.5 A minimum distance of four feet (4' - 0") is required between curb cuts.
- 1.3.6 Circular driveways shall not be permitted.

#### Materials

- 1.3.7 Driveways shall be engineered and constructed of concrete, solid or impervious pavers, or other solid material. Asphalt is not a permitted material. Driveway "runway ribbons" are permitted in lieu of solid surfaces.



The widest portion of the driveway, flared from the driveway to accommodate ingress and egress of the automobile.



Widening a driveway increases impervious cover and may significantly alter the streetscape character.



An appropriate driveway configuration locates the automobile to the side of the primary dwelling structure. Terminating a front driveway or placing a parking pad at any non-parking structure is prohibited.

#### 1.4 Landscape

*Landscaping is a primary character component of the Westfort streetscape. Establishing the overall site character of the individual property, landscaping also helps unify the fabric of the neighborhood by creating interesting and inviting pedestrian routes, streetscapes, and the overall aesthetic sense of place. It is the goal of the Westfort neighborhood to protect and preserve this important character defining feature.*

1.4.1 The provisions of the UDC 35-523 shall be upheld as minimum landscaping standards for all new projects.

1.4.2 In addition to the standards noted in UDC Section 35-523, a tree survey (noting tree species and size) is required for all new construction or rehabilitation (if enlarging building footprint), noting location, canopy and caliper of all trees 6" DBH and over. If the proposed area of a new construction necessitates the removal of any significant, heritage and Historic trees that are more than 20" DBH, an alternative site plan review will be required. This site plan review, conducted by the City Arborist, will determine and offer suggestions for alternative building areas, and/or satisfaction of mitigation requirements. Significant Heritage and Historic Trees shall not be removed unless no other site plan alternative is feasible.



## 1.5 Fencing, Mailboxes, and Utilities

*Ninety percent of Westfort Alliance mailboxes are attached to the primary structure. The absence of free-standing mailboxes improves the streetscape by allowing additional landscaping and unobstructed sidewalks. Fencing and utility boxes also influence the overall neighborhood streetscape experience. Front yard fencing is not common in the Westfort neighborhood. Seventy five percent of the properties exhibit open, non-fenced front yards. About fifteen percent of front yards contain four foot picket or wrought iron fences. Chain link fencing is present in only ten percent of neighborhood front yards.*

*It is the desire of the neighborhood to manage this character defining streetscape feature with design standards intended to promote the established streetscape.*



### Fencing

- 1.5.1 Front yard fence pickets shall be perpendicular to the ground, separated and unattached to adjacent pickets, and shall not vary from other pickets by more than two inches in width but may recede in width at the terminating end of the picket.



Fence and gate structures shall not be constructed over the driveway. (1.5.5)

- 1.5.2 New front yard fences and walls shall not include chain link, chicken wire, barbed wire, cinder block, brick, or similar materials. Stucco is a permitted material or base if it matches the existing or proposed primary structure.

- 1.5.3 Maximum height of front yard fencing shall be no taller than forty eight inches (48") from the nearest grade. Fencing may consist of solid materials up to twelve inches (12") above grade, and shall maintain a fifty percent (50%) transparency ratio.

- 1.5.4 Front and side yard fencing shall be set back a minimum two feet (2' - 0") from the front side walk.

- 1.5.5 Fencing or gate structures are not permitted across the driveway at any point in the front yard.

- 1.5.6 Side yard fencing shall be recessed at least five feet (5' - 0") behind the plane of the front façade of the primary structure.



The height, material, and configuration of front yard fencing significantly contributes to the streetscape of a neighborhood. The absence of fencing can also be a character defining feature.

- 1.5.7 Side fencing on corner lots shall be set back a minimum of seven feet (7' - 0") from the curb.
- 1.5.8 Residential properties abutting commercial properties are exempt from the side yard fencing standards.

**Utilities**

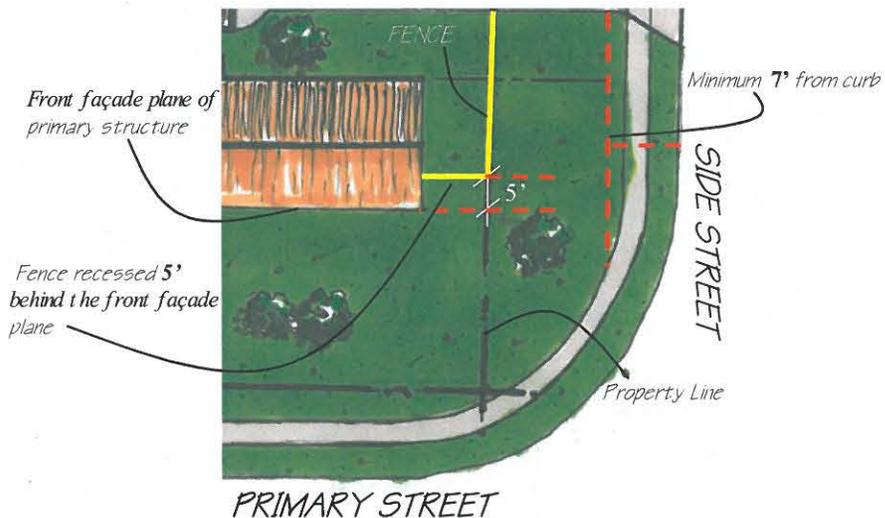
- 1.5.9 All utility boxes, both public and private, HVAC equipment, and similar utility boxes and cabinets shall be screened from view from the primary street through the construction of solid walls matching primary building materials of the primary structure, or evergreen and berm plantings.
- 1.5.10 New residential construction shall provide a designated screened pad area for the placement and storage of refuse and recycling bins and similar containers.



Exposed front yard utility boxes can negatively impact streetscape character. In the Westfort neighborhood, screening is required for these structures.

**Lighting**

- 1.5.12 Outdoor lighting fixtures shall be full cut-off fixtures and shall be shielded as to provide for directional lighting, minimizing light trespass on adjacent properties and the sky.



Side yard fencing shall be recessed at least seven feet from the side street curb. In most cases, the property line will extend greater than the minimum seven foot distance requirement.

## 2. Residential Building and Structure Design Standards

Structural design standards are intended to preserve and promote the established character of the neighborhood. Massing, building height, garage location, building materials, window proportions, and standards for other structurally significant features are identified in this section of the document. The intent is to protect the form and character of the neighborhood with standards that promote compatible development.

### 2.1 Building Height

*The building height for homes and accessory structures throughout the Westfort neighborhood vary between one and two story. One story homes make up fifty five percent of the neighborhood, while two story homes comprise thirty six percent. The variation is found throughout the neighborhood and is not dominant within a specific block or street. Recognizing this, it is appropriate to encourage this configuration. Relying on the base zoning of the property to determine the height of the primary structure is sufficient for determining building height. However, height standards for secondary structures are provided to manage the scale of structures on a lot, and to ensure accessory and secondary structures are subordinate to the primary or principal dwelling.*

#### Primary Structure

2.1.1 The maximum height of the primary structure shall be determined by the base zoning of the property and the provisions of the Unified Development Code.

#### Secondary Structure

2.1.2 The height of the secondary or subordinate structure shall not exceed the height of the primary structure.



In many neighborhoods, homes of similar height are clustered along a street or block face. In Westfort, height variation contributes to the charm and character of the neighborhood character.

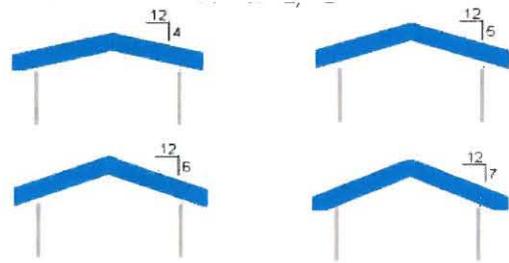


## 2.2 Roofing

The roof is an important character defining feature of the structure and contributes to the overall character of the neighborhood. The Westfort neighborhood has a variety of roof styles, roof pitches, and roof accents. However, fifty two percent of the neighborhood exhibit a moderate roof pitch. A moderate pitch is between 4:12 and 7:12. Roof design standards consider this variation, while discouraging incompatible designs that may be incompatible to the overall character of the neighborhood.



In some instances, the roof design and pitch can dominate the character of a structure.



The illustration shows variations of a moderate roof pitch. A moderate pitch has a shallow slope.

### Roof Pitch

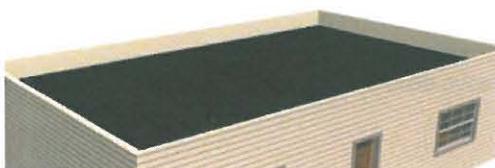
2.2.1 The maximum roof pitch for all new construction shall be between 6:12 and 12:12. Flat roofs are acceptable, but shall have a minimum parapet extending at least 6" above the roof line.



Moderate roof pitch



A 12:12 roof pitch



A flat roof showing the extension of a parapet



Flat roofs are often accented with a parapet

2.2.2 Roofs for additions, renovations, and accessory structures shall match the pitch, configuration (e.g. gable, hip or flat) and style (e.g. open eaves) of the existing structure.

## 2.2 Roofing (cont'd)

### Materials

2.2.3 Corrugated metal roof material shall not be permitted.

### Roof Structures

2.2.4 Solar panels, skylights, solar tubes, and similar roof structures shall match and blend with the character and profile of the existing roof or structure. For solar panels, the use of non-reflective solar shingles and/or similarly discreet materials shall be used.



Non reflective solar panels

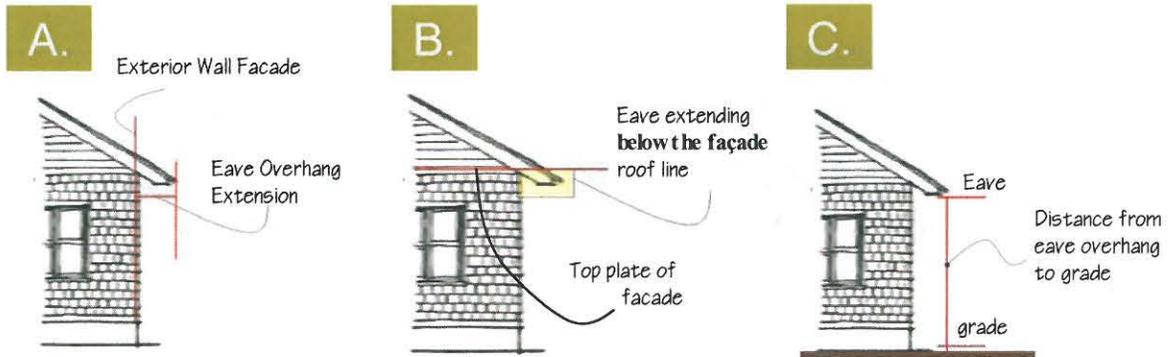
2.2.5 Chimneys shall include a masonry exterior finish.

### Eaves and Overhangs

2.2.6 There shall be a minimum eave overhang extension of at least one foot and six inches (1' - 6"), and a maximum eave extension of three feet (3' - 0") beyond the principal façade. (See diagram A. below)

2.2.7 The eave overhang shall not extend more than three feet (3' - 0") below the top plate of the principal façade. (See diagram B. below)

2.2.8 The roof overhang shall be a minimum distance of nine feet (9' - 0") from the bottom of the foundation. (See diagram C. below)



The illustrations above provide examples for determining and measuring the eave overhang. The design and style of roof eave dimensions helps compliment the desired roof orientation, scale and proportion of the roof pitch.

## 2.3 Principal Elevation Features

*Principal elevation features include details such as dominant building materials, windows and door openings, window proportions, and architectural design features. Collectively, these features contribute substantially to the character of the structure and the Westfort Neighborhood. Elevation design standards are intended to strengthen, preserve, and promote the maintenance of these character defining elements.*

### Façade Materials

#### Replacement Façade Materials

2.3.1 Replacement siding materials shall match in form and placement of the original siding material. Acceptable materials include hardi-plank, stucco, brick, stone, and wood.

#### Prohibited Materials

2.3.2 Prohibited building materials include vinyl or similar siding, oriented strand board (OSB), metal, aluminum or similar reflective or translucent material.

### Façade Design Features

2.3.3 Existing front façade architectural design features and elements visible from the public right of way shall be maintained and preserved. These features include dormers, exposed decorative beams, corbels, architectural pediments, and similar design elements.



Exposed roof beams, corbels, awnings, and other architecturally significant features contribute to the diverse style and character of the Westfort neighborhood housing stock.

### Ramps and ADA Structures

2.3.4 ADA ramps and similar accessibility structures shall be built parallel to the front wall of the structure, if feasible.

2.3.5 All ADA ramps and similar front yard structures shall be permitted.



Incompatible building materials used in renovations and additions can alter the integrity and character of the structure.

## 2.3 Principal Elevation Features (cont'd)

### Windows and Fenestration

2.3.6 The front façade of the principal structure shall maintain a minimum fenestration (wall and door openings) of 25% and a maximum of 70%.

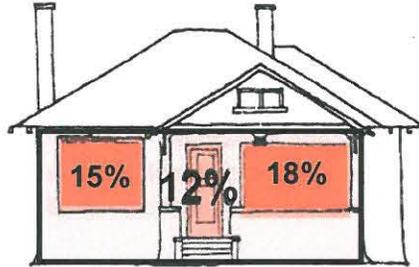


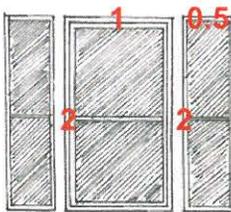
Illustration depicting a 45% front façade fenestration

2.3.7 Windows shall be vertical with a 2:1 ratio and shall have a one-over-one (1/1) opening division and may have multi-light panels.

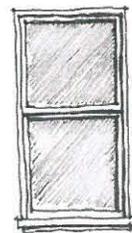
2.3.8 Window Grouping:

2.3.8.1 Individually framed windows may be grouped together in pairs, and shall be placed within 6". Additional windows (single or paired) shall have a minimum separation of two feet (2' - 0").

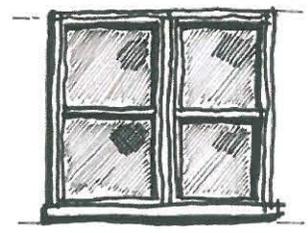
2.3.8.2 A window may contain two side "accent" windows that are no greater than fifty percent (50%) of the center window area. Side accent windows shall maintain a ratio of 2:0.5 or greater. Square accent windows are not permitted.



Individually framed side accent windows meeting the 50% requirement of 2.3.8.2.



1 over 1 light division



A grouped pair of windows.



The absence of windows and openings can alter the character of the front façade. Excessive openings can also influence the front façade character.

**Window and Door Openings**

2.3.9 Bay windows shall include a permanent foundation and framing.

**Replacement Windows**

2.3.10 Any replacement window shall match the existing window light division, proportion, and profile, or shall meet the new construction design standard for windows and fenestration.

**Prohibited Windows and Window Materials**

2.3.11 "Bubble" windows, aluminum mill finished windows, horizontal "sliders" or similar windows, sliding glass doors and similar patio doors are not permitted on the front façade of the primary dwelling and shall not be visible from the public right-of-way.

**2.4 Parking Structures**

*Generally, garages and off-street parking areas within the Westfort neighborhood are concealed from street view, subordinate to the primary structure, and accessed through a rear alley. According to the neighborhood character survey, fifty-eight percent of the lots in the neighborhood do not have a garage or parking structure. Twenty-nine percent include a detached garage. Attached garages and carport structures are found on less than five percent of lots. The Westfort neighborhood streetscape clearly reflects this character, as driveway and parking arrangements are situated to the side or rear of the principal structure.*

*It is the desire of the neighborhood to protect this character defining feature by maintaining the existing parking arrangement, concealing future parking structures, and preserving the character of the established streetscape.*

**Garage Location and Carports**

2.4.1 Garages and carports shall be located in the rear yard.

2.4.2 Attached garages are not permitted.

2.4.3 Carports shall be located in the rear yard.

2.4.4 Carports shall not exceed ten feet (10' - 0") in height and shall be opened and unobstructed on at least three sides if visible from the public right-of-way.

2.4.5 Carports shall have a flat roof and maintain a low profile.

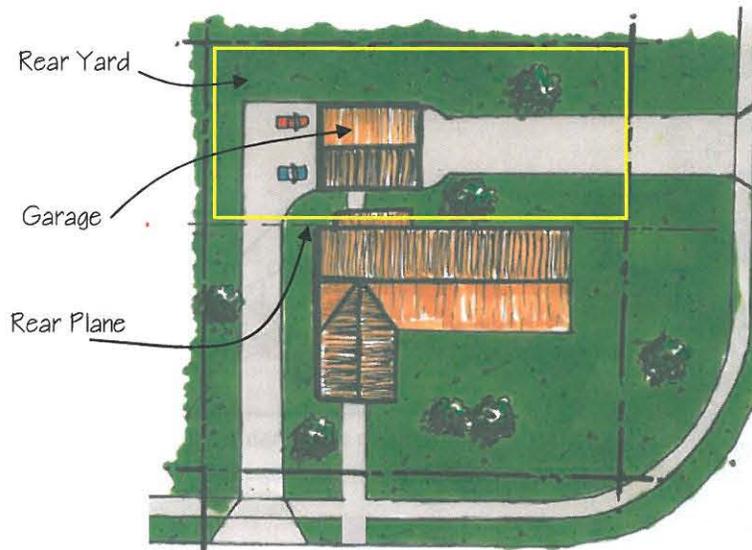


Illustration indicating the rear plane of the structure and rear yard of a property located on a corner lot.

As illustrated, corner lots may have an additional driveway with ingress/ egress to a rear yard parking structure.

## 2.5 Front Entry

The front entry to a building should be the focal point of the structure. The position and arrangement of the front door, the presence and configuration of a front porch, and the ingress-egress façade location contributes to the character of the structure. Seventy four percent of the Westfort neighborhood parcels include a front porch. This arrangement consists of attached (33%), full front configuration (22%), L-shaped (14%), and wrap-around (6%). The variety of front porch styles and configurations make a significant contribution to the neighborhood character. The design standards encourages the preservation of existing front porches and requires porches in new developments.

### Front Entry

- 2.5.1 The front entry of the primary structure shall be on the first floor and shall be placed so that the dwelling is accessed from the primary street.
- 2.5.2 A front door shall be located on the front façade of the primary structure and shall be directly accessible from the front porch. The front porch shall be elevated no greater than one foot (1' - 0") above the floor or base of the front porch.
- 2.5.3 Fifty percent (50%) of the front façade width shall accommodate a covered front porch that shall be at least eight feet (8' - 0") in depth.
- 2.5.4 If the front porch does not share the same roof with the primary structure, the roof pitch, material, and form shall match that of the primary dwelling.
- 2.5.5 French doors visible from the public right of way shall contain multiple light divisions.

### Porch Enclosures

- 2.5.6 Front porches may be enclosed with woven/ open wire mesh or screen material. Chicken wire, burglar bars, chain link, and similar materials are not permitted enclosure materials.
- 2.5.7 Front porch enclosures shall maintain eighty percent (80%) transparency. Glass, plexiglass, or similarly solid transparent materials are not permitted.

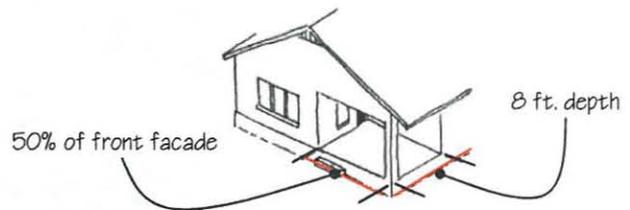


Illustration demonstrating an appropriate front porch configuration





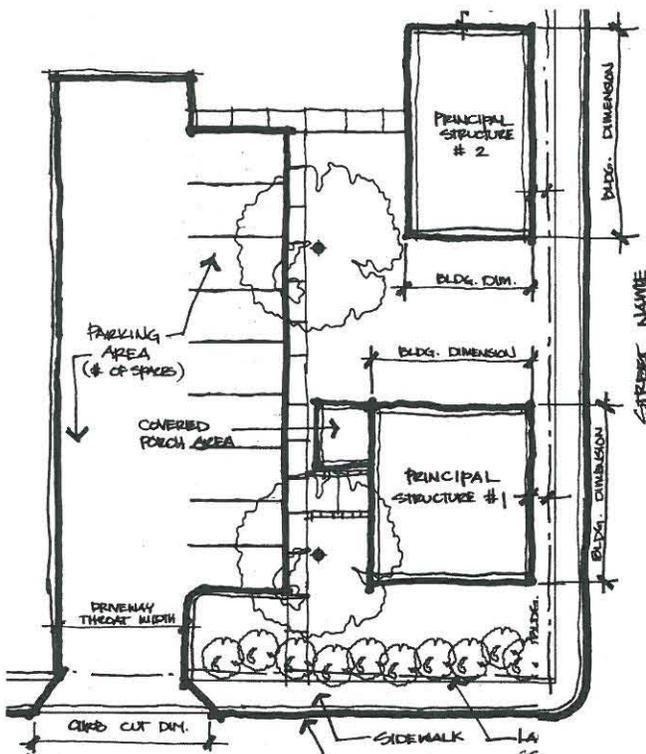
### 3 Multi-Family Design Standards

The Westfort neighborhood accommodates a variety of residential uses. Multi-family design standards are intended to provide standards for the appropriate site layout and building arrangement of multi-family structures with five or more units. These standards identify design features that will contribute to the Westfort neighborhood character by ensuring appropriate and compatible multi-family development. Design standards for multi-family do not intend to manage the use of the property, but rather the structural and physical layout of the development.

#### 3.1 Site Design

##### 3.1.1 Building Setback

3.1.1.1 The front building setback shall be within five feet (5' - 0") of the property line.



Site Plan shows appropriate parking location and building setback

##### 3.1.2 Parking/ Loading

3.1.2.1 Off street parking shall be located to the rear of the primary structure and screened if otherwise visible from the public right-of-way.

3.1.2.2 Parking areas shall have a minimum setback of five feet (5' - 0") from the property line and shall be screened from adjacent properties. Appropriate parking area screening materials include the following:

- A. Berms/ landscaping with a mature height of at least five feet (5' - 0") at maturation.
- B. Privacy wood fence
- C. Rock or stone wall

##### 3.1.3 Utilities and Refuse Containers

3.1.3.1 Utility placement such as boxes, lines, meters, and other service components shall be screened from the public right of way. Screening may include materials identified in section 3.1.2.1

3.1.3.2 Refuse Containers shall be entirely concealed by a solid wall matching the wall façade material and profile of the primary structure and a solid gate. Refuse containers shall be located away from the primary street frontage and to the rear of the principal structure.



A conforming refuse enclosure

NCD 9

### 3.1 Site Design (cont'd)

#### 3.1.4 Walls and Fencing

3.1.4.1 The single family design standards for walls and fencing shall apply to multi-family properties. (see *Windows and Fenestration*, pages 15—15) .

3.1.4.2 Chain link, barbed wire, chicken wire, and similar materials are prohibited.

#### 3.1.5 Signage

3.1.5.1 Pole signs and similar free-standing signs are not permitted.

3.1.5.2 Neon and similar signage is prohibited.

3.1.5.3 A monument sign shall not exceed twenty five square feet (25 s.f.) in area.

3.1.5.4 Temporary signs, banners, inflatable devices, and similar advertising devices are not permitted.

#### 3.1.6 Driveways

3.1.6.1 Driveway curb cuts along the same block face shall maintain a fifty foot (50' - 0") separation.

### 3.2 Building Standards

#### 3.2.1 Architectural and Materials

##### Articulation

3.2.1.1 For new construction visible from the public right-of-way, shall incorporate at least four (4) of the following building elements shall be used:

- Awnings
- Pillars
- Canopies
- Alcoves
- Recessed entries
- Ornamental cornices
- Pillar posts

##### Primary Materials

3.2.1.2 The front façade and side façade if viewable from the public right-of-way shall be finished in a combination of the following materials:

A. At least 25% of the public facing façade area shall consist of one or more of the following materials:

1. Brick, stone, cast stone, rock, non-polished stone or granite, tile, stucco, plaster, wood or hardi-plank.

B. The remainder of the public facing façade area shall consist of any combination of building materials:

1. Glass with less than 20% reflectance.
2. Split-face concrete block, poured-in-place concrete, and tilt wall concrete. Any use of concrete products shall be textured or patterned. Tilt-wall concrete structures shall include reveals, punch-outs, or other similar surface characteristics to enhance the façade on at least 10% of each street-facing façade area.

**3.2 Building Standards (cont'd)**

**Prohibited Materials**

3.2.1.3 The following materials are prohibited:

- Oriented Strand Board (OSB)
- Plastic/ fiberglass panels
- Corrugated, ribbed, galvanized, aluminum coated, zinc-aluminum coated, or other untreated exterior metal finish
- Metal panels
- Unfired or under-fired clay, sand, or shale brick
- Unfinished concrete masonry units (i.e. cinder block)
- Smooth or undeterred concrete finishes
- Mirrored glass with a reflectance greater than 20%
- Vinyl siding
- Glass block
- Marble
- Polished stone

A maximum of 50% of a building may be covered by glass.

**Windows**

3.2.1.3 The single family window design standards shall apply to multi-family structures. (see *Windows and Fenestration*, pages 20-21).

**APPENDIX A**

**GLOSSARY OF TERMS**

**Appendix A**

**GLOSSARY**

**Accessory detached dwelling unit** - A dwelling unit that is accessory, supplementary, and secondary to the principal dwelling that may be constructed as an addition to the principal structure or as an accessory to the principal structure. An accessory dwelling unit is detached from the principal dwelling.

**Accessory dwelling** - An accessory detached dwelling unit or an accessory apartment.  
 Accessory dwelling standards - See § 35-371 of the UDC.

**Accessory use or building** - A subordinate use or building customarily incident to and located on the same lot with the main use or building. A completely new structure or new component to an existing structure.

**Adjacent** - Two (2) properties, lots or parcels are “adjacent” where they abut, or where they are nearby and are separated by a dissimilar type of manmade or geologic feature including but not limited to a Roadway or Street, Right-of-Way, or railroad line, or any stream, river, canal, lake, or other body of water. Adjacent may or may not imply contact but always implies absence of anything of the same kind in between.

**Alley** - A minor public right-of-way not intended to provide the primary means of access to the abutting lots, which is used for vehicular service access to the back or sides of properties otherwise abutting on a public street.

**Alteration** - (Generally, as applied to a building or structure): A change or rearrangement in the structural parts or an enlargement, whether by extending on a side or by increasing in height, or the moving from one (1) location or position to another.

**Alteration** - For purposes of Historic Preservation & Urban Design, Article 6, any construction or change of the exterior of a building, object, site, or structure, or of an interior space designated as a landmark. For buildings, objects, sites or structures, alteration shall include, but is not limited to, the changing of roofing or siding materials; changing, eliminating, or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, balconies, signs, or other ornamentation; the changing of paint color; regrading; fill; imploding, or exploding, or other use of explosives or external forces. Alteration shall not include ordinary repair and maintenance.

**Apartment** - See Dwelling, multi-family.

**Awnings** – A roof-like cover, often of fabric, metal, or glass, designed and intended for protection from the weather or as a decorative embellishment, and which projects from a wall or roof of a structure over a window, walk, door, or the like.

**Back/ Rear Yard** – The area from the rear façade of the principal structure to the back (away from primary public right-of-way) property line.

**Base zoning district** - Any of the zoning districts established pursuant to § 35-303(a) of the UDC.

**Block face** - The properties abutting one (1) side of a street and lying between the two (2) nearest intersecting or intercepting streets, or nearest intersection or intercepting street and/or railroad right-of-way, undivided land, water course or city boundary.

**Building** - A structure designed, built or occupied as a shelter or roofed enclosure for persons, animals or property. For the purpose of this definition, "roof" shall include an awning or other similar coverings, whether or not permanent in nature. Without limiting the generality of the foregoing, the following shall be considered a "building": a house, barn, church, hotel, warehouse, or similar structure, or a historically related complex, such as a courthouse and jail or a house and barn.

**Building Articulation** – Refers to the many street frontage design elements both horizontal and vertical that help create a streetscape of interest. The appropriate scale of articulation is often a function of the size of the building and the adjacent public spaces including sidewalks, planting zones, and roadways.

**Building elevation** - The view of any building or other structure from any one of four sides showing features such as construction materials, design, height, dimensions, windows, doors, other architectural features, and the relationship of grade to floor level.

**Building footprint** - The horizontal area measured within the outside of the exterior walls of the ground floor of the main structure.

**Building mass** – See Mass.

**Building setback line** - See Setback line.

**Carport** - Space for the housing or storage of motor vehicles and enclosed on not more than two (2) sides by walls.

**Civic buildings** - Any type of public buildings including: offices, libraries, playgrounds, parks, assembly halls, police stations, fire stations.

**Commercial property** - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for other than residential use, i.e., for a single family, duplex, three or four family dwelling or greater for the purposes of this zoning overlay only.

**Common lot line** – a boundary of two adjacent parcels owned by the same person(s) or entity.

**Construction** - The act of adding an addition to an existing building or structure, or the erection of a new principal or accessory building or structure on a lot or property, or the addition of walks, driveways or parking lots, or the addition of appurtenances to a building or structure.

**Courtyard** - A space, open and unobstructed to the sky, located at or above grade level on a lot and bounded on three or more sides by the walls of a building.

**Cross gabled** – May have a combination of front and side gables on primary façade.

**Cutoff angle** - The angle formed by a line drawn from the direction of light rays at the light source and a line perpendicular to the ground from the light source, above which no light is emitted.

**Demolition** - The complete or partial removal of a structure from a site.

**Detached structure** - A structure having no party wall or common wall with another structure unless it is an accessory structure.

**Development** - Any man-made change in improved and unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or, drilling operations or storage of equipment or materials.

**District** - A geographically definable area, urban or rural, possessing a significant concentration, linkage, or continuity of buildings, objects, sites, or structures united by past events or aesthetically by plan or physical development which may also comprise individual elements separated geographically but thematically linked by association or history.

**Dormers** – Rise up out of the roof and are often separate from the roof-to-wall junction. Dormers are classified by their roof shape (shed, hipped, gabled, flat, etc).

**Driveway** - Entrance to and exit from premises where it is possible to park completely off the street, and which is not open for vehicular traffic except by permission of the owner of such private property.

**Driveway approach** - A way or place including paving and curb returns between the street travel lanes and private property which provides vehicular access between the roadway and such private property.

**Driveway, front-loaded** - A driveway which begins at, or abuts, the front property line of a lot or parcel.

**Duplex** - See Dwelling two-family.

**Dwelling, Single-Family Attached (Townhouse)** - A building that has one-family dwelling units erected in a row as a single building on adjoining lots, each being separated from the adjoining unit or units by a fire wall (constructed in accordance with city codes and ordinances), along the dividing lot line, and each such building being separated from any other building by space on all sides. Each unit maintains a separate lot.

**Dwelling, Single-Family Detached** - A one-family dwelling that is not attached to any other dwelling by any means and is surrounded by open space or yards.

**Dwelling, two-family (duplex)** - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than two (2) families, each living as an independent housekeeping unit.

**Dwelling, three-family (triplex)** - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than three (3) families, each living as an independent housekeeping unit.

**Dwelling, four-family (quadruplexes)** - A detached house with common walls between the units, designed for and occupied exclusively as the residence of not more than four (4) families, each living as an independent housekeeping unit.

**Dwelling, multi-family** - A dwelling or group of dwellings on one (1) lot containing separate living units for five (5) or more families, but which may have joint services or facilities.

**Dwelling unit** - One (1) or more rooms providing complete living facilities for one (1) family, including kitchen facilities or equipment for cooking or provisions for the same, and including room or rooms for living, sleeping, bathing and eating.

**Easement** - A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation, or another person or entity.

**EIFS** – (Exterior Insulation and Finish Systems) provides exterior walls with as insulated finished surface, and waterproofing in an integrated composite material. EIFS is often referred to as “synthetic stucco.”

**Façade** - The exterior wall(s) of a building exposed to public view or that wall viewed by persons not within the building.

**Façade Surface Area** - the measure of the exposed area of front wall(s) calculated by geometric area formula of the shapes of those exposed wall(s).

**Flat roof** – Roof with no slope and may terminate with or without eaves. A parapet is often present, providing a small “wall” around the perimeter of the roof line.

**Fenestration** - The sum of windows, doors, and other openings of a building or façade.

**Floor area** - The sum of the gross horizontal areas of all floors of a structure, including interior balconies and mezzanines, measured from the exterior face of exterior walls, or from the centerline of a wall separating two (2) structures. The floor area shall include the area of roofed porches having more than one (1) wall and of accessory structures on the same lot. Stairwells and elevator shafts shall be excluded.

**Floor Space Index (FSI)** - Floor Space Index (FSI) determines the ratio of total living space allowed on a lot or parcel relative to the size of the lot or parcel.

**Front gabled** – The peak or gable faces the front façade.

**Front yard** – The area from the front façade of the principal structure to the street or public right-of-way.

**Frontage** - The frontage of a parcel of land or building is that distance where a property line is common with a street right-of-way line.

**Garage, private** - A building or part thereof accessory to a main building and providing for the storage of automobiles and in which no occupation or business for profit is carried on, enclosed on all four (4) sides, and pierced only by windows and customary doors.

**Glare** - The sensation produced by luminance within the visual field that is sufficiently greater than the luminance to which the eyes are adapted to cause annoyance, discomfort, or loss in visual performance and visibility.

**Glazing** - the clear translucent material through which light can pass into a building through an opening in a building's exterior wall (usually a door or window), typically glass but can be made of other similar materials.

**Green space** - Land shown on an urban corridor site plan which may be improved or maintained in a natural state and which is reserved for preservation, recreation, or landscaping.

**Half story** - An uppermost story usually lighted by dormer windows, in which a sloping roof replaces the upper part of the front wall, and habitable areas on the uppermost story do not exceed a floor area derived by multiplying the floor area of the ground floor by fifty percent (50%).

**Height, building** - The vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the highest point of ceiling of the top story in the case of a flat roof; to the decline of a mansard roof; and to the average height between the plate and ridge of a gable, hip or gambrel roof.

**Impervious cover** - Roads, parking areas, buildings, pools, patios, sheds, driveways, private sidewalks, and other impermeable construction covering the natural land surface; this shall include, but not [be] limited to, all streets and pavement within the subdivision.

**Infill** – Development occurs on vacant or underused lots in otherwise built-up sites or areas. Infill projects can take several forms, such as a small addition in a residential backyard, or a single or multi-parcel development.

**Percent impervious cover** is calculated as the area of impervious cover within a lot, tract, or parcel or within the total site being developed, divided by the total area within the perimeter of such lot, tract, parcel or development. Vegetated water quality basins, vegetated swales, other vegetated conveyances for overland drainage, and public sidewalks shall not be calculated as impervious cover.

**Porch** – A roofed area, which may be screened, attached to or part of and with direct access to or from a structure and usually located on the front side of the structure, not to extend 50% of the front façade.

**Land use category** - A classification of uses as set forth in the use matrix (see key to use matrix for rules of interpretation)

**Landscaping** - The process or product of site development including grading, installation of plant materials and seeding of turf or ground cover.

**Lot** - A designated parcel or area of land established by plat to be used, developed, or built upon as a unit.

**Lot, corner** - A lot or parcel of land abutting upon two (2) or more streets at their intersection, or upon two (2) parts of the same street forming an interior angle of less than one hundred thirty-five (135) degrees.

**Lot depth** - The mean horizontal distance between the front and rear lot lines.

Lot design standards - See § 35-515 of the UDC.

**Lot, reversed corner** - A corner lot, the rear of which abuts upon the side of another lot whether across an alley or not.

**Lot width** - The width of a lot at the front setback line.

**Lumens** – A unit used to measure the actual amount of visible light which is produced by a lamp as specified by the manufacturer. A unit of measure of the quantity of light that falls on an area of one square foot every point of which is one foot from the source of one candela. A light source of one candela emits a total of 12.57 lumens.

**Manufactured home or manufactured housing** - A HUD-code manufactured home. For purposes of the floodplain ordinance, a “manufactured home” means a structure transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. The term “manufactured home” does not include a “recreational vehicle”.

**Mass** - The size, height, symmetry and overall proportion of a structure in relation to the original style and/or to surrounding structures.

**Monument sign** – A freestanding sign supported primarily by an internal framework or integrated into landscaping or other solid structural features other than support poles.

**New construction** - For the purpose of determining insurance rates, structures for which the “start of construction” commenced on or after the effective date of an initial FIRM or after December 31, 1974, whichever is later, and includes any subsequent improvements to such structures. For floodplain management purposes, “new construction” means structures for which the “start of construction” commenced on or after the effective date of a floodplain management regulation adopted by a community and includes any subsequent improvements to such structures.

**New development** - Any new demand which increases the number of equivalent dwelling units including, but not limited to, the subdivision and/or resubdivision of land; the construction, reconstruction, redevelopment, conversion, structural alteration, relocation, or enlargement of any structure; or any use or extension of the use of land, any of which increases the number of equivalent dwelling units.

**Nonconforming structure** - Any existing structure which was erected according to all applicable city ordinances at the time, but which does not now comply with all the regulations applicable to the district in which the structure is located.

**Ordinary repair and maintenance** - Any work, the purpose and effect of which is to correct any deterioration or decay of or damage to a building, object or structure or any part thereof and to restore the same, as nearly as may be practicable, to its condition prior to such deterioration, decay or damage, using the same materials or those materials available which are as close as possible to the original.

**Ornamental cornices** - A horizontal molded projection that crowns or completes a building or wall.

**Overlay district** - A zoning district established by this chapter prescribing regulations to be applied to a site in combination with a base zoning district.

**Permit** - A license, certificate, approval, registration, consent, permit, or other form of authorization required by law, rule, regulation, order, or ordinance that a person must obtain to perform an action or initiate, continue, or complete a project for which the permit is sought. (Source: VTCA Local Government Code § 245.001). A “development permit” includes any of the following: a subdivision plat, a conditional use permit, a building permit, or a certificate of occupancy. A “development permit” does not include a certification of completeness, a letter of certification, an amendment to the text of this chapter, or a rezoning. A determination of property status, including but not limited to, utility availability, zoning, rights under Article VII of this chapter, etc., is not a permit.

**Permit rights** - The right of a property owner or developer to complete a project under the rules, regulations and ordinances in effect at the time the project was initiated through a permit as herein defined. When permit rights exist for property within the boundaries of a project, ordinances passed after the date the project is initiated shall not apply to the project except as specifically provided within this section.

**Pervious pavement** - A pavement system with traditional strength characteristics, but which allows rainfall to percolate through it rather than running off. A permeable pavement system utilizes either porous asphalt, pervious concrete, or plastic pavers interlaid in a running bond pattern and either pinned or interlocked in place. Porous asphalt consists of an open graded course aggregate held together by asphalt with sufficient interconnected voids to provide a high rate of permeability. Pervious concrete is a discontinuous mixture of Portland cement, coarse aggregate, admixtures, and water which allow for passage of runoff and air.

**Pitch** - The slope of a roof as determined by the vertical rise in inches for every horizontal twelve inch (12”) length (called the “run”). Pitch is expressed with the rise mentioned first and the run mentioned second. For instance, a roof with a four inch (4”) rise for every horizontal foot has a 4:12 pitch.

**Pedestrian walkway** – Any sidewalk or walkway that is intended and suitable for pedestrian use. Any paved public or private route intended for pedestrian use, including a bicycle/ pedestrian path regardless of use by other transportation.

**Porch** - A roofed area, which may be glazed or screened, attached to or part of and with direct access to or from a structure and usually located on the front or side of the structure.

**Principal building or principal structure** - A building or structure or, where the context so indicates, a group of buildings or structures, in which the principal use of a lot or parcel is conducted. This shall include any buildings which are attached to the principal structure by a covered structure.

**Principal dwelling** - A dwelling unit which constitutes the principal building or principal structure on a lot or parcel.

**Principal elevation** – The primary front façade area of the main structure; usually fronting or facing the public right-of-way (ROW).

**Principal structure** - See Principal building or principal structure.

**Property owner** - The person, entity, corporation, or partnership in whose name a certificate of occupancy issued, or the current owner of the property if a certificate of occupancy is no longer valid, or, if the current owner cannot be contacted after due diligence, the lessee/occupant of the property who is in apparent control of such property.

**Proportion:** The relationship of the size, shape, and location of a building element to all the other building elements.

**Proposed development** - The uses, structures, buildings, and/or other development proposed by an application for development approval.

**Public right-of-way** - A strip of land acquired by reservation, dedication, forced dedication, prescription, or condemnation and used or intended to be used, wholly or in part, as a public street, alley, walkway, drain or public utility line.

**Public right-of-way (2)** - An area or strip of land, either public or private, occupied or intended to be occupied by a street, walkway, railroad, utility line, drainage channel, or other similar uses.

**Quadruplexes** - See Dwelling four-family.

**Reconstruction** - The act or process of reassembling, reproducing, or replacing by new construction, the form, detail, and appearance of property and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or by reuse of original materials.

**Rehabilitation** - The act or process of returning a building, object, site, or structure to a state of utility through repair, remodeling, or alteration that makes possible an efficient contemporary use while preserving those portions or features of the building, object, site, or structure that are significant to its historical, architectural, and cultural values.

**Relocation** - Any change of the location of a building, object or structure in its present setting or to another setting.

**Residential development** - All areas zoned as "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-18", "MF-25", "MF-33", "MF-40" or "MF-50", or otherwise zoned or devoted primarily to residential use, and shall include all other areas not zoned or used primarily for commercial or industrial use.

**Residential district or residential zoning district** - Any of the following zoning districts: "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-18", "MF-25", "MF-33", "MF-40 or "MF-50".

**Residential driveway approach** - A driveway which provides access to property on which a single-family residence, duplex, or multifamily building containing five or fewer dwelling units is located.

**Residential property** - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for residential uses, i.e., for single family, duplex, three, or four family dwelling or more dwellings for the purposes of this zoning overlay plan only.

**Residential streets** - Street routes that provide access to local property owners and which connect property to the major thoroughfare or other collector street networks.

**Residential structure** - A single-family home, apartment house, townhouse, condominium or any type of dwelling unit.

**Right-of-way** - Property that is publicly owned or upon which a governmental entity has an express or implied property interest (e.g. fee title, easement, etc.) held for a public purpose. Examples of such public purpose include, by way of example and not limitation, a highway, a street, sidewalks, drainage facilities, sewerage and water facilities.

**Screen** - Vegetation, fence, wall, berm or a combination of any or all of these which partially or completely blocks the view of and provides spatial separation of a portion or all of a site from an adjacent property or right-of-way.

**Setback** - A line within a lot parallel to and measured from a corresponding lot line, establishing the minimum required yard and governing the placement of structures and uses on the lot.

**Side gabled** – locates the front door on the non-gabled façade.

**Side yard** - An area extending the depth of a lot from the front yard to the rear yard between the side lot line and the nearest principal structure.

**Sidewalk** - The portion of a municipal street between the curb lines or lateral lines of a roadway and the adjacent property lines that is improved and designed for or is ordinarily used for pedestrian travel. [Source: VTCA Transportation Code § 316.001]

**Single-family dwelling** - See Dwelling, one-family.

**Single-family residential development** - A development consisting of a lot or lots, containing only one dwelling unit. The dwelling unit may be detached or attached, townhouse, small lot, home, manufactured home, or mobile home.

**Site** - The location of a significant event, a prehistoric or historic occupation or activity, or a building, structure, or cluster, whether standing, ruined, or vanished, where the location itself maintains historical, architectural, archaeological, or cultural value regardless of the value of any existing structure.

**Story** - That part of a building between the surface of a floor and the ceiling immediately above.

**Street-facing façade** - That portion or portions of a wall of any permanent structure that is visible from and oriented parallel to a dedicated public right of way. For a structure that is not oriented parallel to the right of way, the street wall façade shall include all of the facades visible from the right of way and oriented at an angle greater than zero degrees but less than 60 degrees to the right of way.

**Streetscape** - The general appearance of a block or group of blocks with respect to the structures, setbacks from public rights-of-way, open space and the number and proportion of trees and other vegetation.

**Structure** - A walled and roofed building, including a gas or liquid storage tank, which is principally above ground, as well as a manufactured home.

**Substantial improvement** - Any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before "start of construction" of the improvement. This includes structures which have incurred "repetitive loss" or "substantial damage", regardless of the actual repair work performed. The term does not, however, include either: (1) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary conditions or (2) Any alteration of a "historic structure," provided that the alteration will not preclude the structure's continued designation as a "historic structure."

**Subject property** - The property subject to an application for development approval.

**Substantial rehabilitation** - Certified improvements to a historic building in which the cost of the project is equal to or greater than fifty (50) percent of the appraised pre-rehabilitation improvement value of the property and which constitutes major work on enhancing existing mechanical or structural systems that preserve the historical integrity, while extending the life of the building.

**Stoop** – A small open porch or platform with steps leading up to the entrance of a building and may extend up to 6 feet from the front façade.

**Transparency percentage** – refers to the amount of surface area of a porch enclosure (walls or vertical surfaces) that must be constructed of transparent materials compared to the total surface area of the enclosure.

**Transparent** - Capable of transmitting light in a manner which permits a person standing outside of a building to view shapes, tones, and objects inside a building. A tinted window is considered “transparent” if it meets the requirements recited herein.

**Use** - The purpose for which land or structures thereon is designed, arranged or intended to be occupied or used, or for which it is occupied, maintained, rented or leased.

**Vertical/Height** – See Building height

**Window** - An opening constructed in a wall and which admits light or air to an enclosure, is framed and spanned with glass, and which may be mounted to permit opening and closing.

**Yard** - An area on a lot between the lot line and the nearest principal structure, unoccupied and unobstructed by any portion of a structure from the ground upward, except as otherwise provided in the UDC.

**APPENDIX B**

**PROPERTY OWNERS LISTING**

Section 35-335(d)(2)(c) of the NCD Enabling Ordinance requires a listing of all property owners within the boundary area.

**WESTFORT NCD PROPERTY OWNERS LISTING**

GARCIA, ROBERTO & MARIA	117 ALLING
GOODMAN, FRANK	121 ALLING
GOODMAN, FRANK	100 APPLER

**ARMY**

ANDERSEN, DAVID R & KAY	335 ARMY
ARRIAGA, VIOLA J & FRANK	218 ARMY
BECKSTEAD, AMANDA SHARPE & MICHAEL	306 ARMY
BRAVO, JOSEPH C	240 ARMY
BURNETTE, GEORGE F & NANCY S	315 ARMY
CAMPBELL TRUST, BILLIE & FRANKIE	220 ARMY
CARDENAS, FRANCES MARTHA	221 ARMY
CARTER, GREGORY N & TERRY T	235 ARMY
COHEN, EDMUND A & MARILYN L	330 ARMY
CONTI, CELESTE	338 ARMY
GABRIEL, REBECCA & JASON	239 ARMY
HARMON, IRENE JAN	337 ARMY
KEEN, RONALD W	341 ARMY
MARANTO, SHREVE L	238 ARMY
MARSHALL, JUDI MARIE	316 ARMY
MICHEL, DAVID E	237 ARMY
PEACE, ANNALISA	247 ARMY
PETERSON, JACK H & CAROLYN S	305 ARMY
PIETTE, GILBERT M & MARILYN M	262 ARMY
SAVAGE, NORDALE E	336 ARMY
SMITH, GERALD R & SUSAN C	214 ARMY
SPECIA, JOHN J & MARY A	327 ARMY
SPECIA, RICHARD A	400 ARMY
SULLIVAN, MARK	309 ARMY
TERRY LIVING TRUST	331 ARMY
VAN DYKE, VICTOR & LINDA	242 ARMY
VAN DYKE, VICTOR & LINDA A	230 ARMY
VAN DYKE, VICTOR J & LINDA	226 ARMY
VILLARREAL, DAVID A & KATHERINE S	302 ARMY
WANG, HARRY H L & KIM W	319 ARMY
WILLIAMS, JOHN F & EVELYN	320 ARMY

**AVENUE B**

PAN AMERICAN GOLF ASSN INC	2300 AVENUE B
PEREZ FAMILY MANAGEMENT TRUST	2023 AVENUE B

**BRAHAN BLVD**

KNAPP, GREGORY BRENT	326 BRAHAN BLVD
MAC LEOD, BERNADETTE & RON W	315 BRAHAN BLVD
QUINTARD, CHARLES THOMAS	225 BRAHAN BLVD
SPICER, RUSSELL D & INGEBORG	311 BRAHAN BLVD

## PROPERTY OWNERS

## BRAHAN BLVD

BRAHAN DEVELOPMENT LLC	250 BRAHAN BLVD
BRAHAN LLC	251 BRAHAN BLVD
BREWSTER PLACE L P	223 BRAHAN BLVD
BREWSTER, EDDIE & SHARON	305 BRAHAN BLVD
BROTHERS OF HOLY CROSS OF TEXAS, INC	320 BRAHAN BLVD
CLAFLIN, STEVEN W	353 BRAHAN BLVD
CREEDON, DANIEL F	345 BRAHAN BLVD
DANIEL F CREEDON	345 BRAHAN BLVD
DERIVERA, ALANE G	227 BRAHAN BLVD
EDMUNDS, CLEO E	231 BRAHAN BLVD
HASSMANN, STEVEN A	312 BRAHAN BLVD
KNAPP, GREGORY BRENT	330 BRAHAN BLVD
L & HB INVESTMENTS LTD	302 BRAHAN BLVD
LUPER, LUTHER O	318 BRAHAN BLVD
MICHEL, EMORY M & CONNIE J	322 BRAHAN BLVD
MURILLO, GILBERT J & JO ANN	306 BRAHAN BLVD
PARTAIN, MEGGAN & CHRISTOPHER OSIECKI	324 BRAHAN BLVD
PETERSON, JACK H & CAROLYN	303 BRAHAN BLVD
PIERCE, JOHN W & SHERRIE M	321 BRAHAN BLVD
RODRIGUEZ, JERRY	337 BRAHAN BLVD
SMALLWOOD, DAVID C	239 BRAHAN BLVD
SNIDER, JEFFREY WAYNE & CAROLINE	367 BRAHAN BLVD
STALLCUP, CHARLES T & CAROLYN D	310 BRAHAN BLVD
SWANN, MARGO ELIZABETH	359 BRAHAN BLVD
VALDEZ, RAMIRO C JR	255 BRAHAN BLVD
ZAINIE, CARLA M	316 BRAHAN BLVD

## BROADWAY

CARLOS ROBERTO ARCHITECT PLLC	2106 BROADWAY
GUENTHER DEVELOPMENT LLC	2303 BROADWAY
KREUSEL, ELIZABETH KOCIAN	2202 BROADWAY
LOS LEONES FAMILY LP	2212 BROADWAY
LOS LEONES FAMILY LTD PRTSHP	2218 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2023 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2100 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2110 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2112 BROADWAY
SOVRAN ACQUISITION LTD PARTNERSHIP	2300 BROADWAY
SUMMER CLASSICS II LLC	2600 BROADWAY
WITTIG, JOE / MARK	2013 BROADWAY

WESTFORT NCD PROPERTY OWNERS LISTING

BROADWAY

BEDROCK ENTERPRISES INC	2402 BROADWAY
BRACKENRIDGE PARK/BROADWAY DEVELOPMENTS LTD	2520 BROADWAY
CANNON, WINDELL W & CAMILLE	2500 BROADWAY
COMPOUND RESIDENCES LLC	2519 BROADWAY
DALRYMPLE, SHARON FAMILY LTD PARTNERSHIP	2012 BROADWAY
FIESTA SAN ANTONIO COMM INC	2603 BROADWAY
GOODMAN, LARRY	2424 BROADWAY
GUENTHER DEVELOPMENT LLC	2203 BROADWAY
GUENTHER DEVELOPMENT LLC	2311 BROADWAY
GUENTHER DEVELOPMENT LLC	2201 BROADWAY
HUDDLESTON, GLENN/ ALICE LLC	2503 BROADWAY
KREUSEL, ELIZABETH KOCIAN	2122 BROADWAY
LAST CHANCE ENTERPRISES LTD	2000 BROADWAY
MOREHOUSE, JEFF	2515 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2027 BROADWAY
RSI PROPERTIES INC	2425 BROADWAY
SANO, STEVEN K	2615 BROADWAY
SCB PROPERTIES LTD	2001 BROADWAY
SCOTT CLEANERS LP	2501 BROADWAY
TASTE FOOD PRODUCTS INC	2020 BROADWAY
THE COURTYARD AT BRACKENRIDGE PARK OWNERS ASSOCIATION	2632 BROADWAY
TURGEON, LAWRENCE L	2411 BROADWAY
WITTIG, MARK	2013 BROADWAY
ZINTGRAFF INVESTMENTS LTD	2625 BROADWAY

CUNNINGHAM AVE

BARRERA, MANUEL SR & VIRGINIA Z	227 CUNNINGHAM AVE
BEDELL, MARY B	251 CUNNINGHAM AVE
FREDERICK, VERA ANN	215 CUNNINGHAM AVE
HEROLD, JOHN P	247 CUNNINGHAM AVE
MARIN, ALFONSO & RACHEL R	219 CUNNINGHAM AVE
MARIN, ALFONSO & RACHEL R	223 CUNNINGHAM AVE
PETERSON, JACK H & CAROLYN	203 CUNNINGHAM AVE
QUITANILLA, CHRISTINA	263 CUNNINGHAM AVE
RICONDO, JOSE	255 CUNNINGHAM AVE
VALDEZ, ISABEL OLIVAREZ	235 CUNNINGHAM AVE
VALDEZ, ISABEL OLIVAREZ	239 CUNNINGHAM AVE
VALDEZ, ISABEL OLIVAREZ	243 CUNNINGHAM AVE
WARD, RONALD NEHEN	211 CUNNINGHAM AVE
WENDORFF, THOMAS C & ELISA	259 CUNNINGHAM AVE

E. JOSEPHINE

GUTIERREZ, RAFAEL & MARIA R	823 E. JOSEPHINE
MARTINEZ, MICHAEL A & MARTHA L	815 E. JOSEPHINE
ZAVALA, MARTIN R	813 E. JOSEPHINE

## PROPERTY OWNERS

**E. JOSEPHINE**

ALVAREZ, MANUEL VARGAS JR & MICHELLE L	817 E. JOSEPHINE
BEXAR COUNTY MHMR CENTER	711 E. JOSEPHINE
CARTER, KYONG	519 E. JOSEPHINE
FIELDS, EDWARD D	821 E. JOSEPHINE
MUNOZ, SANTA ANN	819 E. JOSEPHINE
NOBLE, DANIEL L	807 E. JOSEPHINE
NOBLE, DANIEL L	805 E. JOSEPHINE
SEESGOOD, EARL	811 E. JOSEPHINE
SULLIVAN, CHRISTINE ANN	809 E. JOSEPHINE

**N. ALAMO ST.**

ALAMO COMMUNITY COLLEGE DISTRICT	2222 N. ALAMO ST
HASSLOCHER, CARYN M	2011 N. ALAMO ST
RYAN, SANDRA	2019 N. ALAMO ST
VALDEZ, BERNARDA S ALVAREZ	2023 N. ALAMO ST

**NIKIA ST.**

BRINKLEY, RICCI LON	310 NIKIA ST
CITY OF SAN ANTONIO	302 NIKIA ST
ESPARZA, MARY LOUISE	314 NIKIA ST
GARCIA, ADAN JR	330 NIKIA ST
HADLEY III, DANIEL RICHARD	338 NIKIA ST
MEDINA, REYNALDO & MARIA I	318 NIKIA ST
MORAN, LOUIS RICHARD & JEANETTE M	334 NIKIA ST
NOBLE, DANIEL L	306 NIKIA ST
PENA, LARRY L	342 NIKIA ST
RODRIGUEZ, MARY	322 NIKIA ST
ZAVALA, MARTIN R	326 NIKIA ST

**POST**

BARFIELD, JOSEPH H	280 POST
CARSELLO, DEAN M	260 POST
DAVID MORENO CONSTRUCTION LLC	270 POST
FLORES, BALDEMAR R & BEATRICE C	274 POST
HARGROVE, CLAIRE G	238 POST
HASSMANN, STEVE & SUSAN	293 POST
HENDRIX, TABITHA A	224 POST
JOHNSON, FREDERICA B & ROBERT C	264 POST
OLIVER, RETHA	266 POST
ONE MOON INVESTMENTS LLC	222 POST
PREVUZNAK, MINERVA	237 POST
SCHREIBER, FERDINAND G & GUADALUPE	265 POST
SOLIS, JESUS	241 POST
STINE, OLGA C	236 POST
TERRY LIVING TRUST	228 POST
WOMAN AT THE WELL HOUSE MINISTRIES INC.	221 POST

WESTFORT NCD PROPERTY OWNERS LISTING

POST

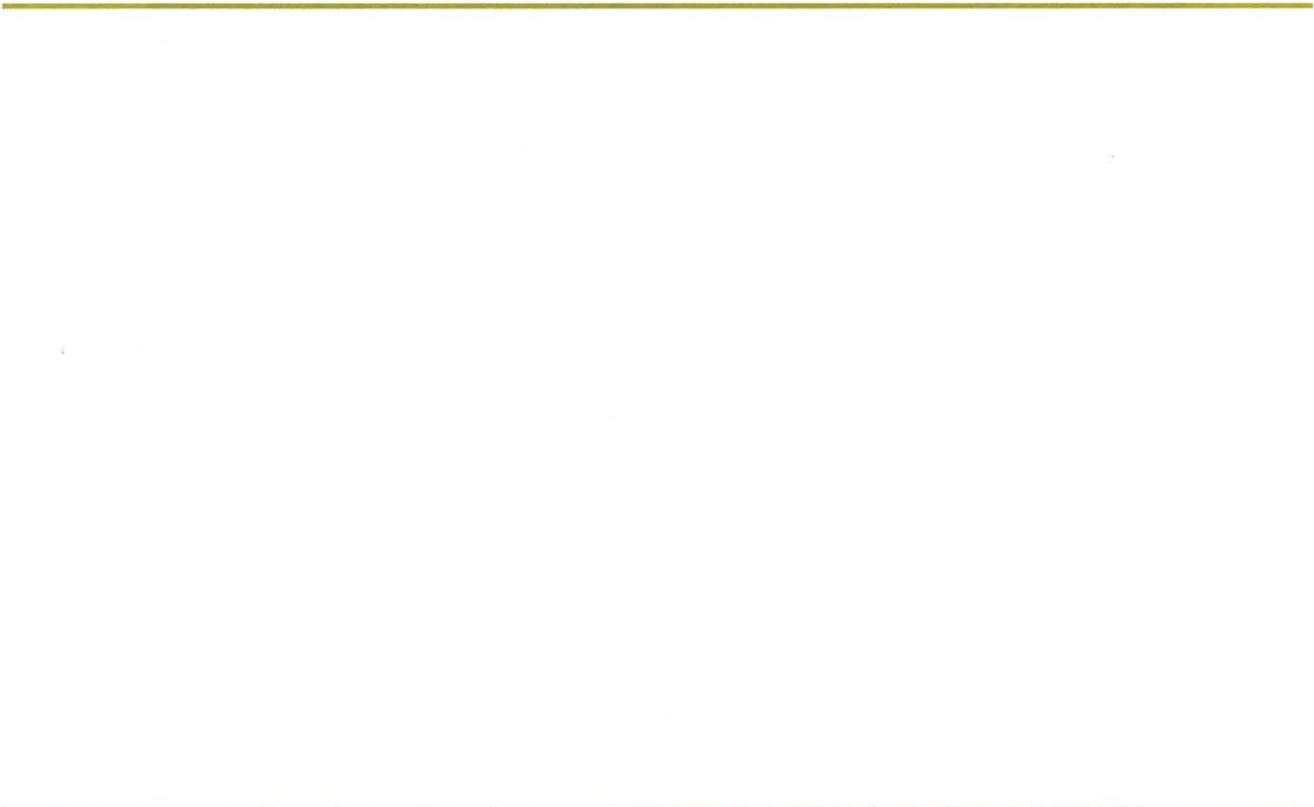
BALLEZA, RAQUEL A	285 POST
BISNETT, TERESA O & JAMES N	275 POST
FARRELL III, WILLIAM T	217 POST
HASSMANN, STEVEN A	277 POST
HEADY, JAMES L	240 POST
HERNANDEZ, JOSE M & ANA M	248 POST
KNAPP, GREGORY BRENT	245 POST
PARKER, MARY & SCOTT L	231 POST
SELF, KATHY SUE	269 POST
SOLIS, JESUS	261 POST
SOLIS, JESUS	253 POST
TORRES, ALBINO & CINDY JO	282 POST
WISE KNOWLEDGE SYSTEMS INC	292 POST

**APPENDIX C**

NEIGHBORHOOD CHARACTER MAPS

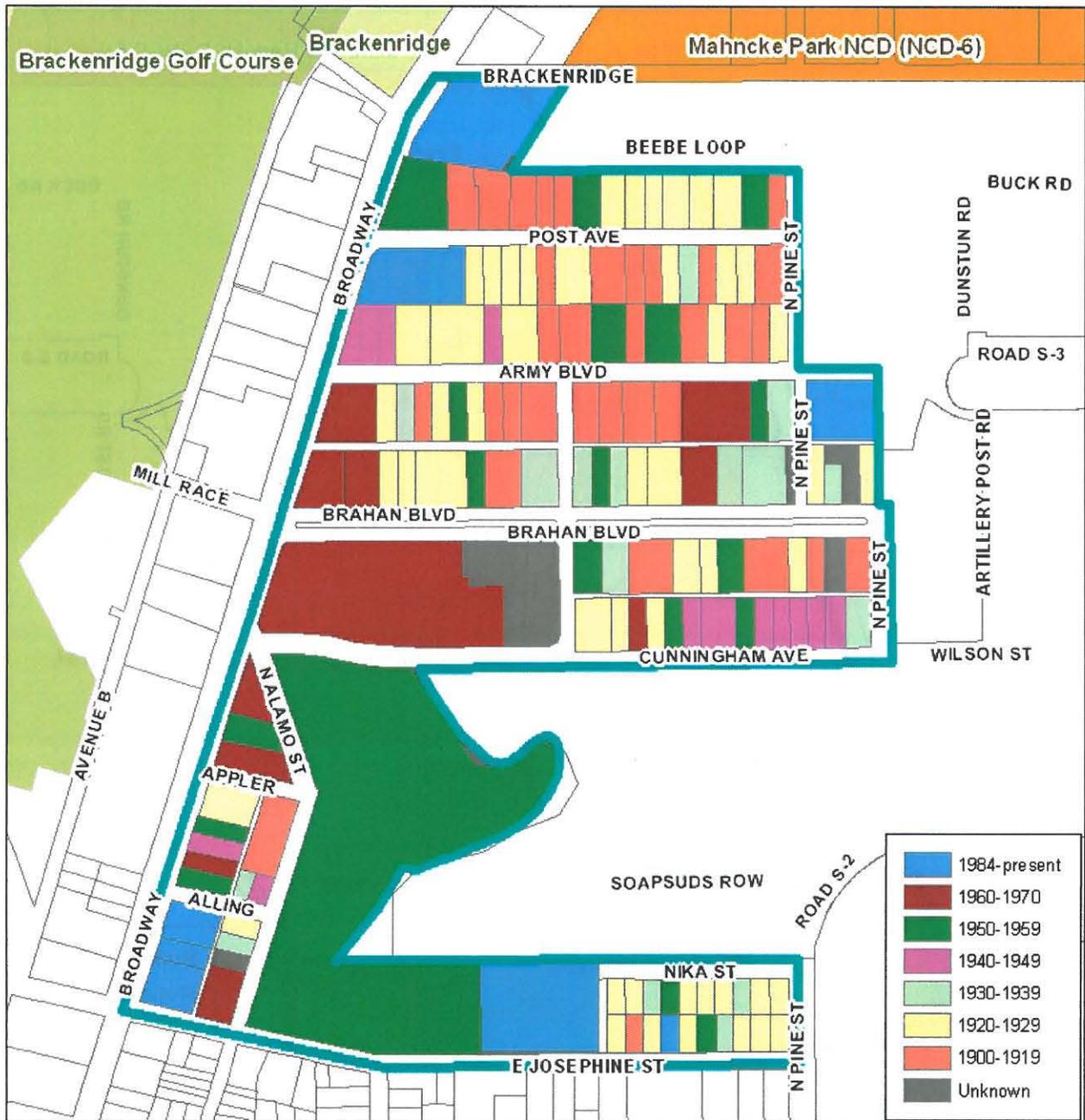
The **Age of Structures** map represents the requirement for NCD designation based on Bexar County Appraisal information. Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district is improved or developed. The Westfort Alliance NCD meets the ordinance requirement with 84% of the land area containing structures that are at least 25 years old and presently improved. According to Bexar County Appraisal data, 82% of the Westfort neighborhood structures were built prior to 1960.

The following maps reflect the general character of the area and helped guide the planning team throughout the creation of the design standards.



**MAP AND SURVEY DATA DISCLAIMER**

Each of the following character maps were created from individual lot surveys conducted by the Westfort Alliance planning team. These results provide a general overview of design and feature characteristics of the collective neighborhood and do not necessarily represent the condition or state of a specific property. While inaccuracies may exist with some individual property surveys, the collective results were used as the basis for creating the Westfort NCD design standards.



AGE OF STRUCTURES

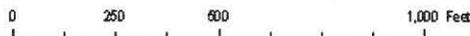
**SURVEY DATA**

**Westfort Alliance  
Neighborhood Conservation District**

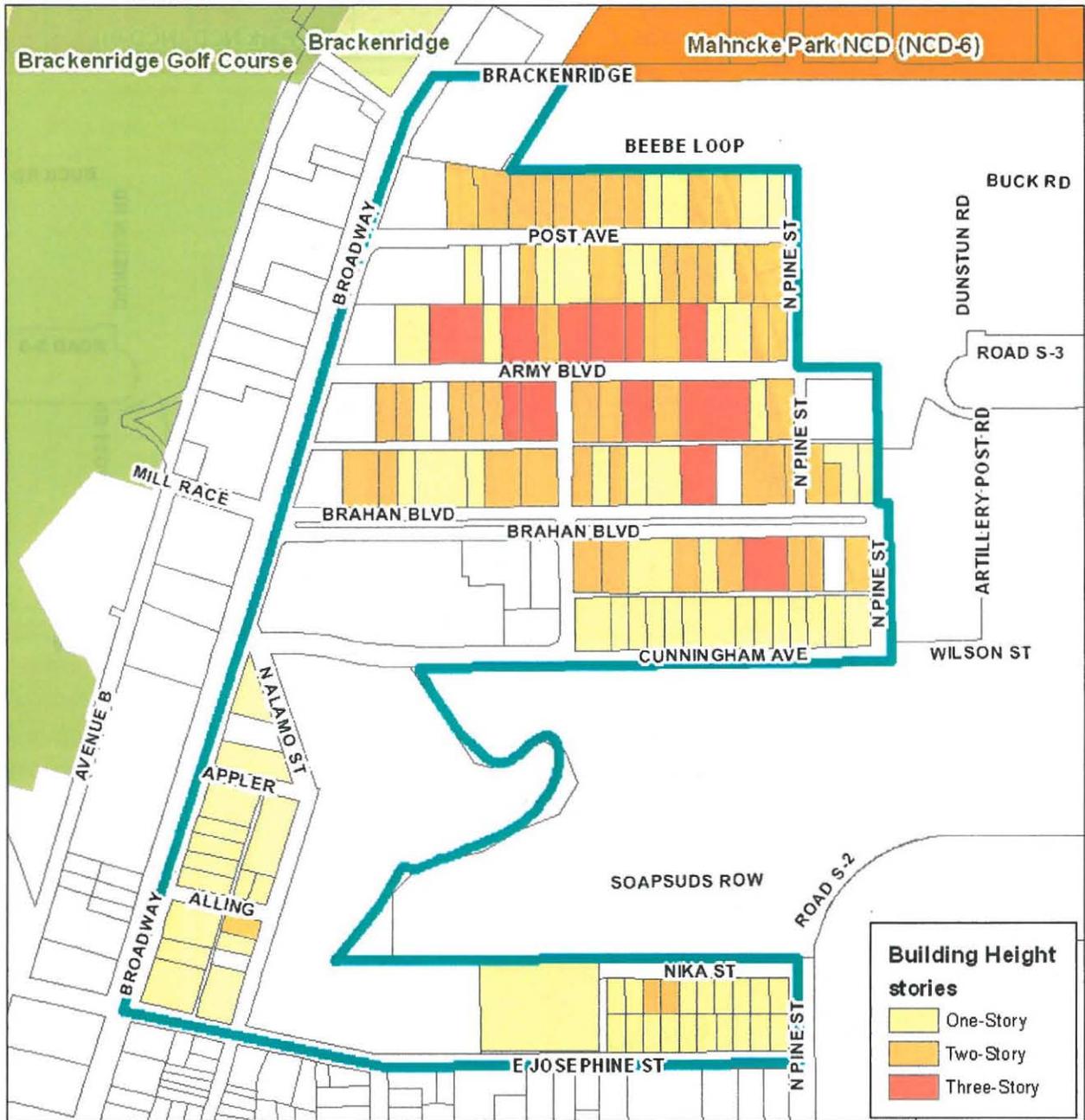
City of San Antonio



San Antonio, City of (2010) Survey of the Westfort Alliance Neighborhood Conservation District. Prepared by the City of San Antonio, Planning and Economic Development Department. The survey was conducted by the City of San Antonio, Planning and Economic Development Department, in cooperation with the City of San Antonio, Historic Preservation Commission. The survey was conducted from 2008 to 2010. The survey was funded by the City of San Antonio, Planning and Economic Development Department. The survey was conducted by the City of San Antonio, Planning and Economic Development Department, in cooperation with the City of San Antonio, Historic Preservation Commission. The survey was conducted from 2008 to 2010. The survey was funded by the City of San Antonio, Planning and Economic Development Department.



NCD 9



**Building Height  
stories**

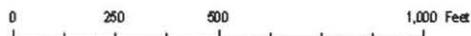
- One-Story
- Two-Story
- Three-Story

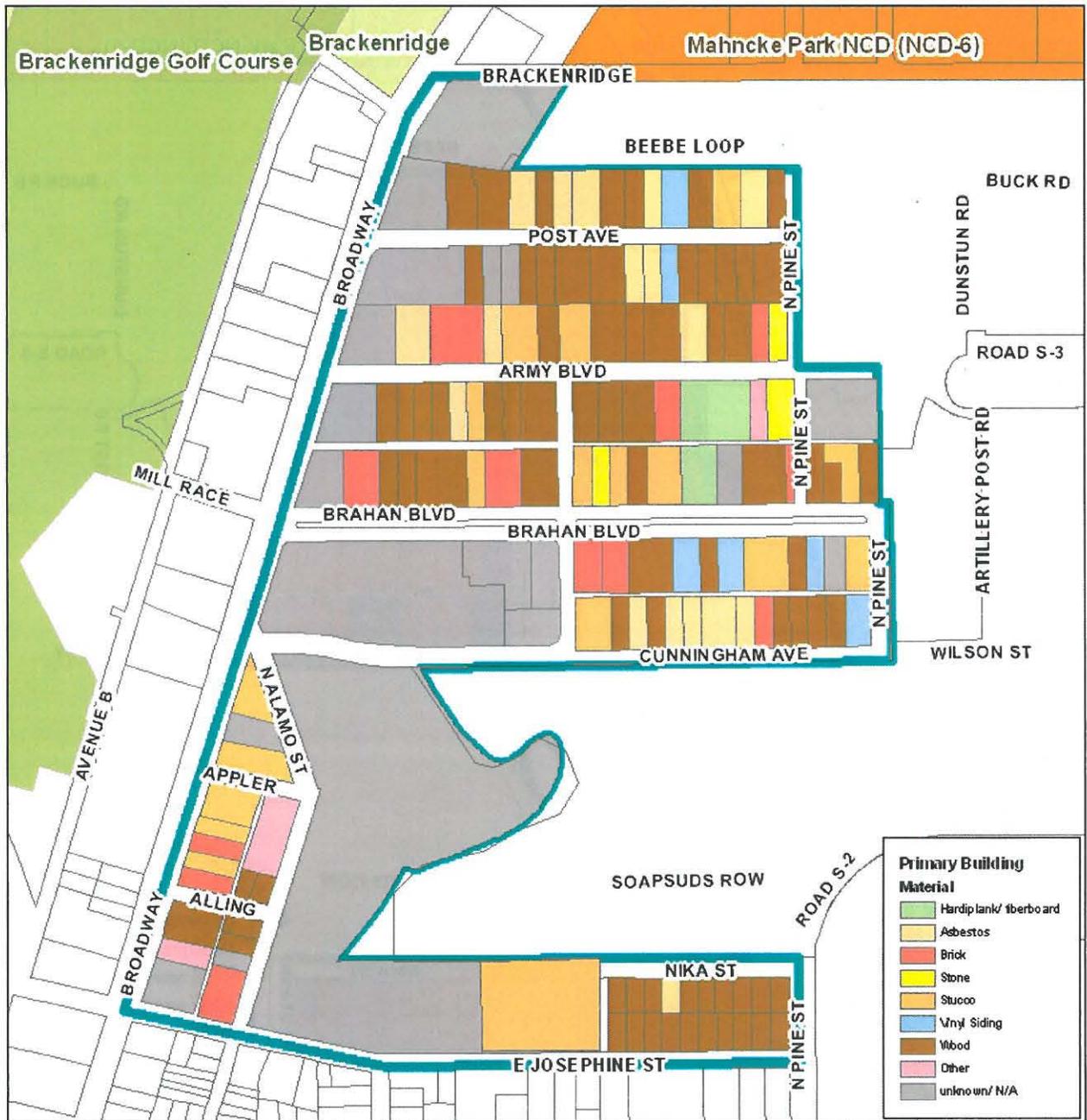


City of San Antonio, Planning and Economic Development Department  
 1000 N. Loop West, Suite 1000, San Antonio, TX 78207  
 (210) 222-2222  
 www.sanantonio.gov

Map prepared by: [unreadable]  
 Date: [unreadable]

**BUILDING HEIGHT SURVEY DATA**  
**Westfort Alliance**  
**Neighborhood Conservation District**  
 City of San Antonio





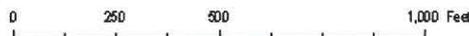
BUILDING MATERIALS SURVEY DATA

**Westfort Alliance  
Neighborhood Conservation District**

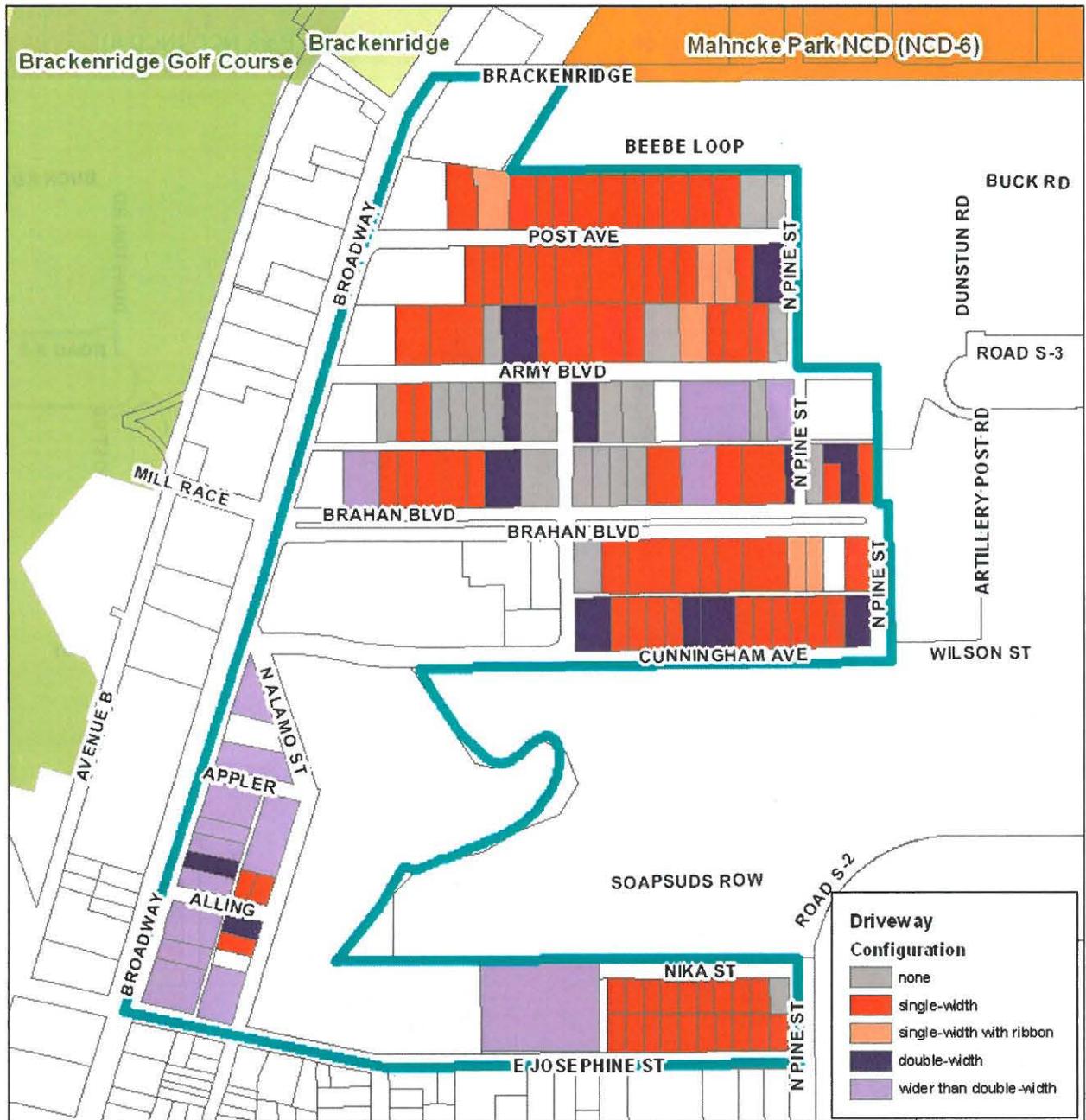
City of San Antonio



San Antonio Central Historical Foundation, Inc. 2010  
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NCD 9



DRIVEWAYS

SURVEY DATA

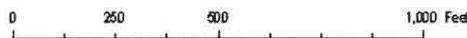
## Westfort Alliance Neighborhood Conservation District

City of San Antonio

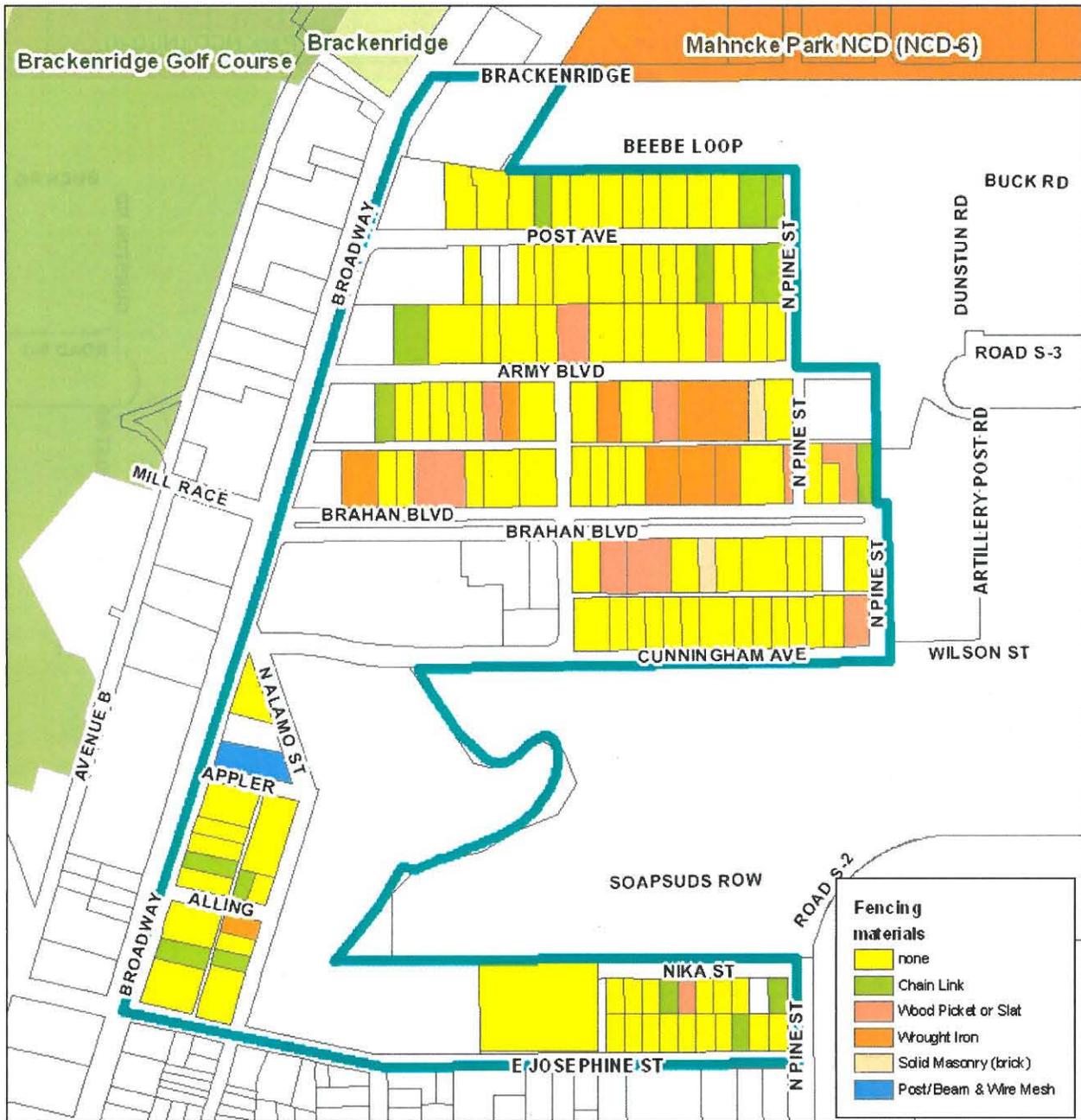


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Map prepared by: City of San Antonio  
Map date: 09/01/11  
Map scale: 1" = 1000'





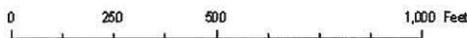


FENCING MATERIAL

SURVEY DATA

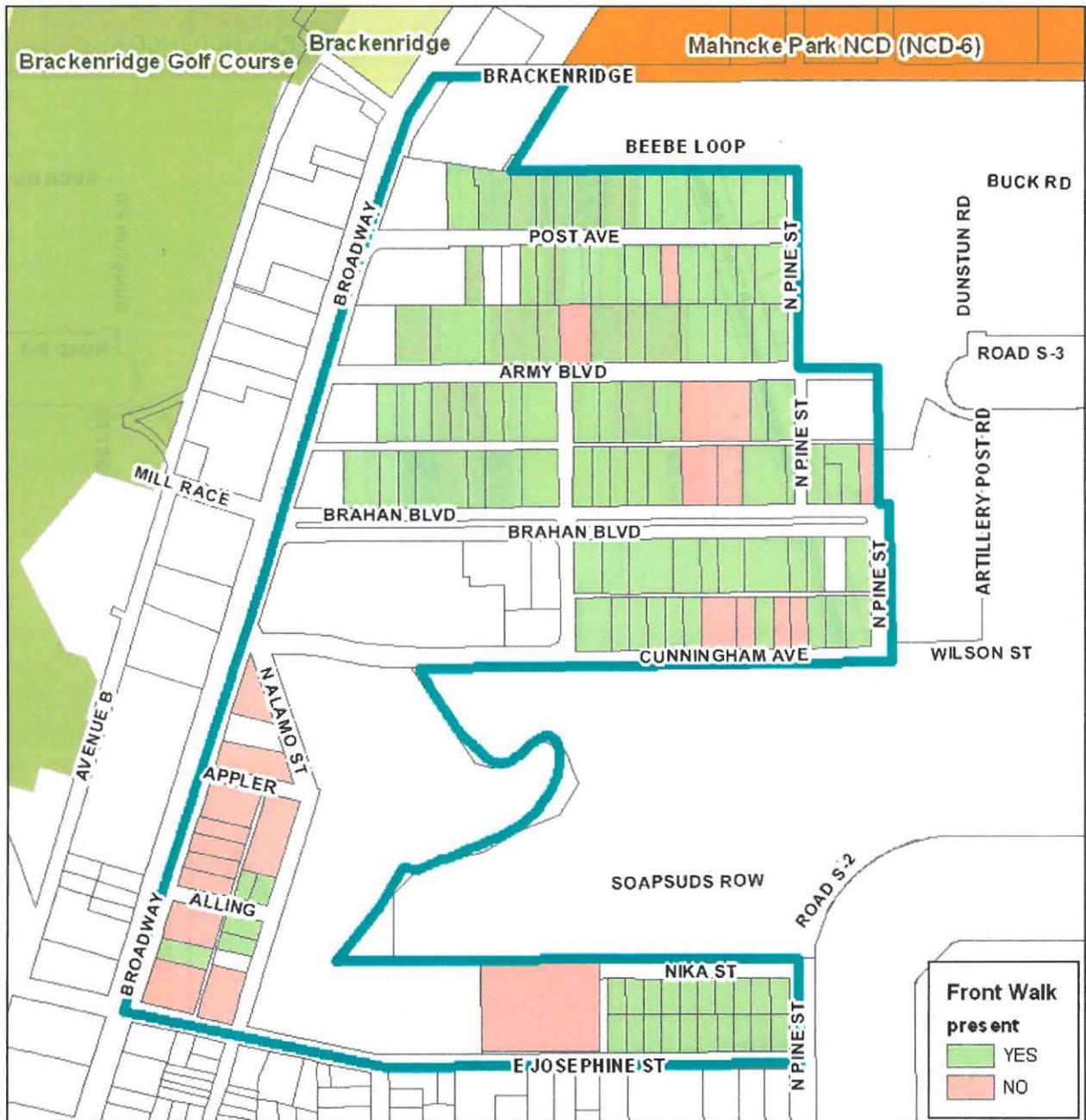
**Westfort Alliance  
Neighborhood Conservation District**

City of San Antonio



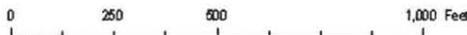
2011-2012 City of San Antonio Neighborhood Conservation District Survey Data  
 This map was prepared by the City of San Antonio, Planning and Economic Development Department, based on data provided by the City of San Antonio, Planning and Economic Development Department, and the City of San Antonio, Public Works Department.  
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FRONT WALK SURVEY DATA  
**Westfort Alliance**  
**Neighborhood Conservation District**

City of San Antonio



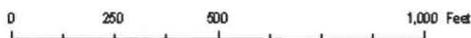


SIDEWALK CONDITION

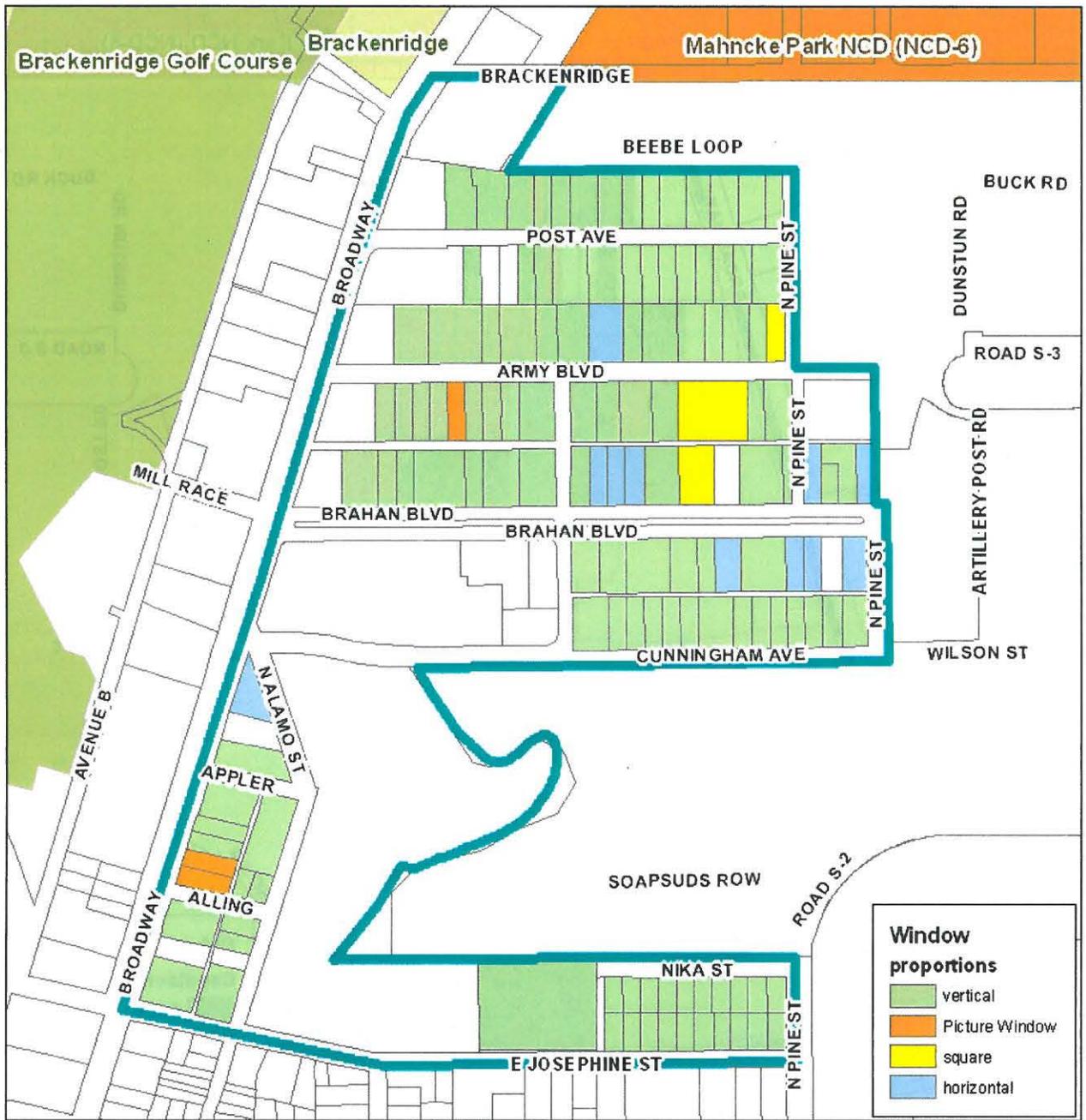
**SURVEY DATA**

**Westfort Alliance  
Neighborhood Conservation District**

City of San Antonio



NCD 9



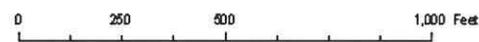
WINDOW CONFIGURATION SURVEY DATA

**Westfort Alliance  
Neighborhood Conservation District**

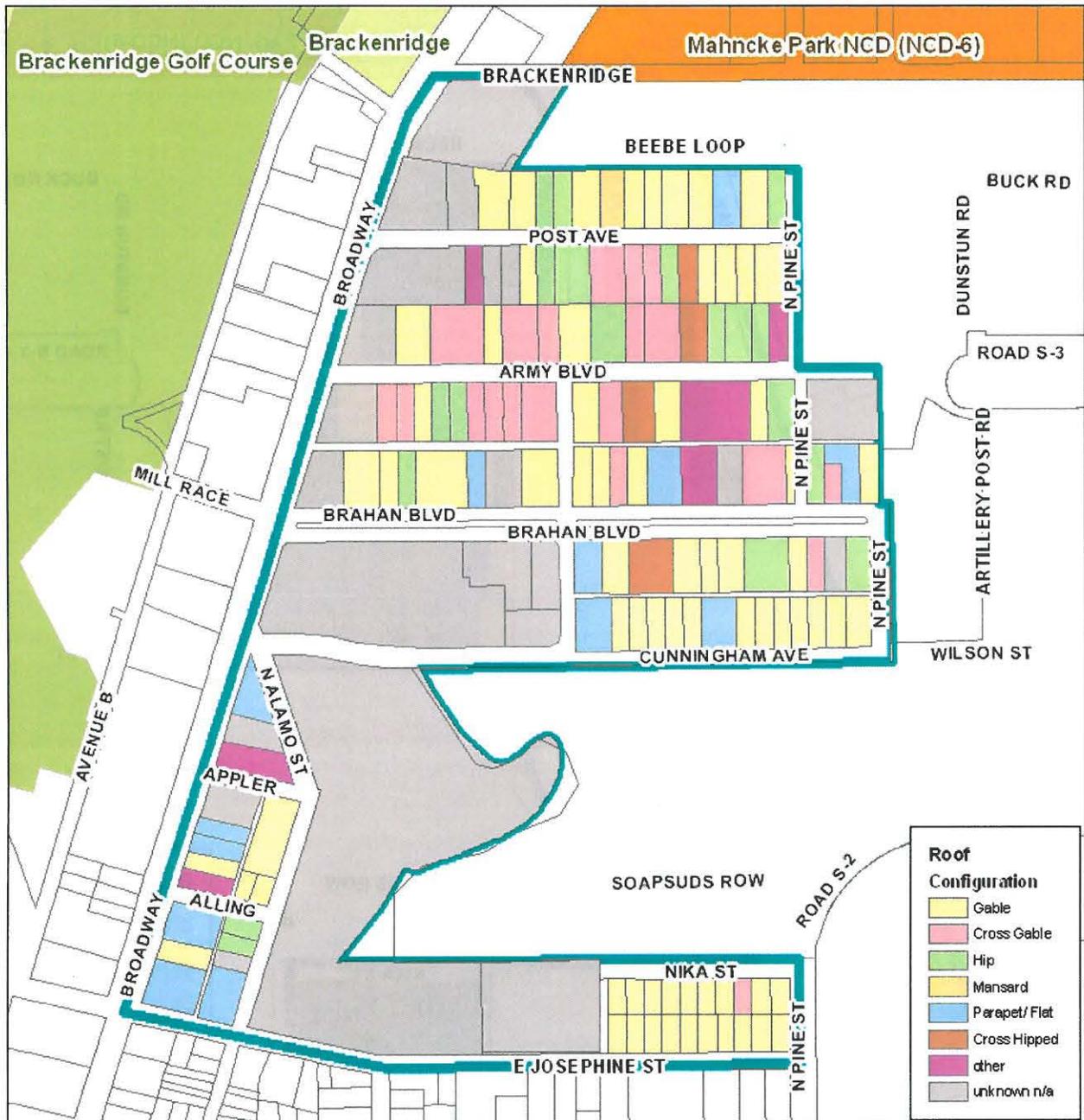
City of San Antonio



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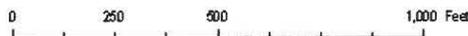


ROOF CONFIGURATION

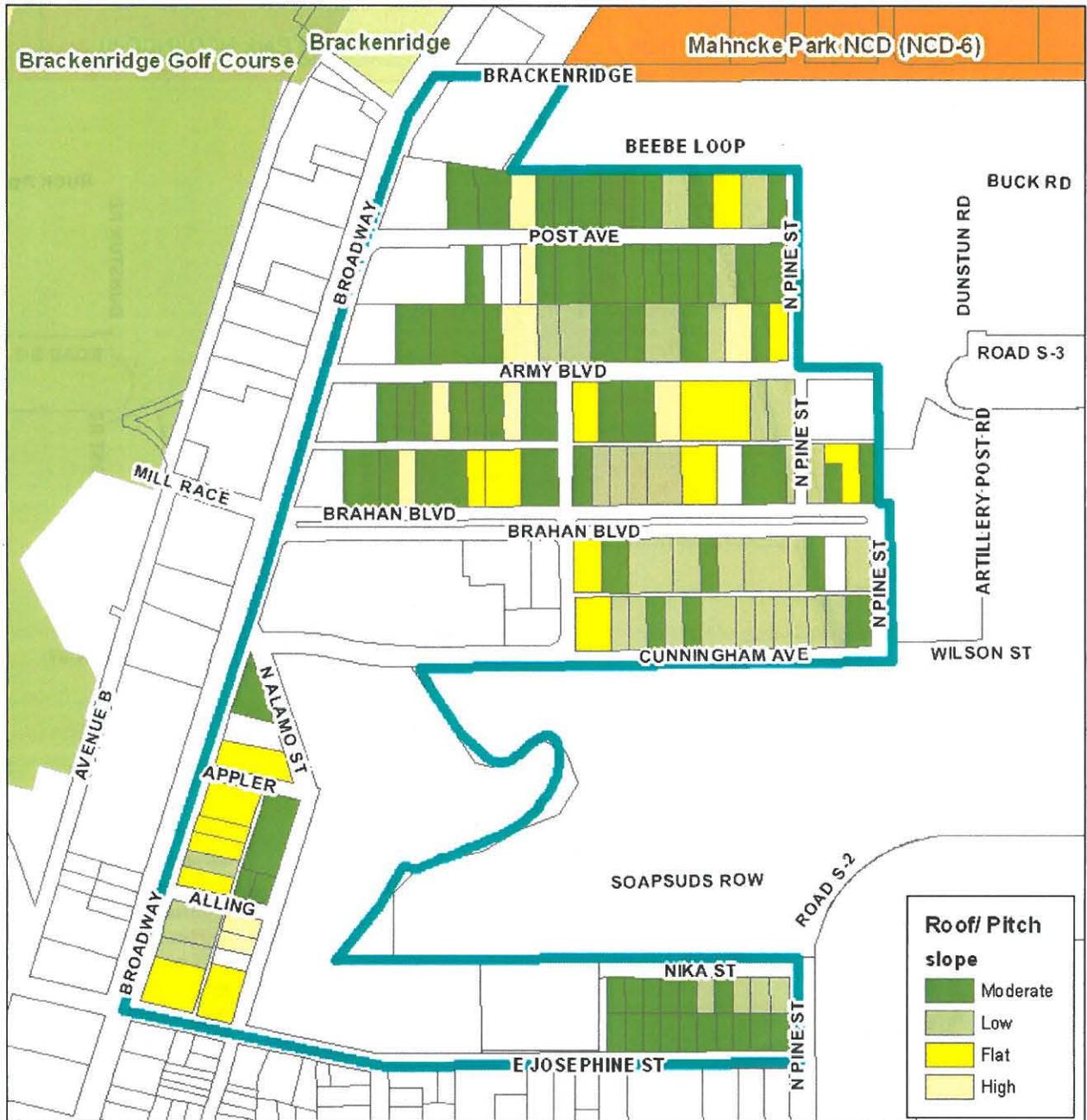
SURVEY DATA

**Westfort Alliance  
Neighborhood Conservation District**

City of San Antonio



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ROOF / PITCH

SURVEY DATA

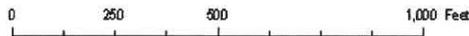
**Westfort Alliance  
Neighborhood Conservation District**

City of San Antonio

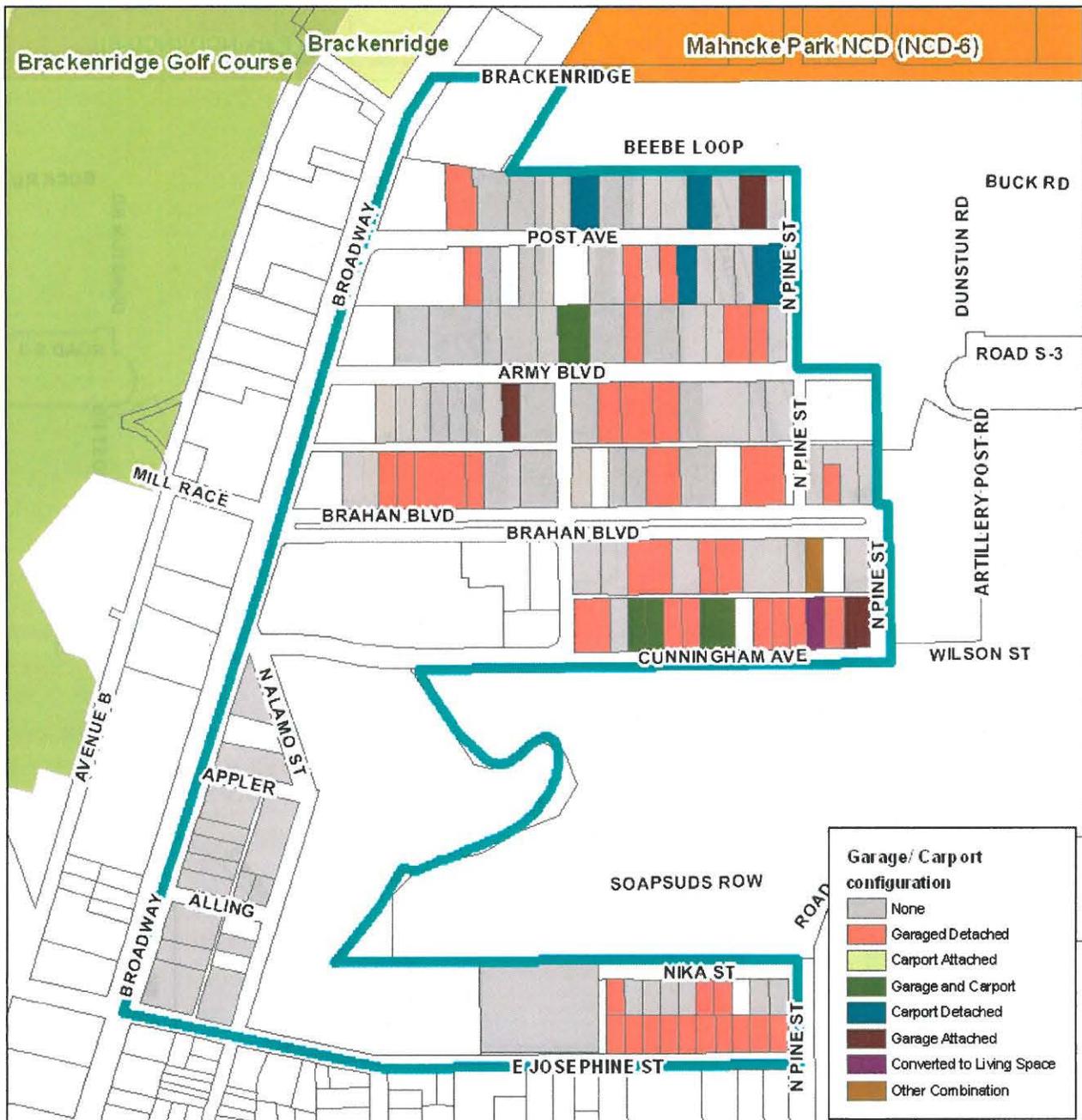


2008/2009 City of San Antonio Survey Data  
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Map Scale: 1" = 100 Feet  
Map Date: 12/15/09  
Map Author: [Name]



NCD 9



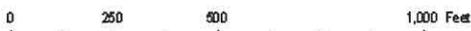
GARAGE/ CARPORT CONFIGURATION SURVEY DATA

**Westfort Alliance  
Neighborhood Conservation District**

City of San Antonio



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**APPENDIX D**

**NCD MEETING SCHEDULE**



## PUBLIC PLANNING PROCESS

### Public Meetings

---

First Public Meeting: February 23, 2011

Second Public Meeting: May 25, 2011

Third Public Meeting: June 21, 2011

### Planning Team Meetings

---

December 1, 2010

January 11, 2011

January 31, 2011

March 9, 2011

March 23, 2011

April 6, 2011

April 20, 2011

April 27, 2011

May 11, 2011

May 18, 2011

June 1, 2011

June 8, 2011

August 24, 2011



### Zoning Commission Meetings

---

August 16, 2011	Commission Briefing
September 6, 2011	First Public Hearing
September 20, 2011	Second Public Hearing



### City Council Hearing

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October 6, 2011	Final Consideration
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**ATTACHMENT 1**

ZONING RESOLUTION

**RESERVED FOR ZONING RESOLUTION**

**RESERVED FOR ZONING RESOLUTION**



**ATTACHMENT 2**

CITY COUNCIL ORDINANCE

**RESERVED FOR ORDINANCE**

**RESERVED FOR ORDINANCE**

**RESERVED FOR ORDINANCE**

**WESTFORT ALLIANCE NEIGHBORHOOD CONSERVATION DISTRICT**

BROADWAY

POST AVE

ARMY BLVD

BRAHAN BLVD

CUNNINGHAM AVE

N. ALAMO

NIKA STREET

E. JOSEPHINE

N. PINE

APPLER

ALLING

