

**STERLING PROPERTY  
(1434 E. COMMERCE AND 323 IDAHO)**

**Phase I Environmental Site Assessment**

Cost Center #: 3401010001

GL: 5201040

Prepared For:

**City of San Antonio**

**Capital Improvements Management Services**

**Environmental Management Division**

**111 Soledad, Suite 675**

**San Antonio, TX 78205**

Prepared By:

**Pape-Dawson Engineers, Inc.**

**555 E. Ramsey**

**San Antonio, TX 78216**

**February 2013**

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Texas Board of Professional Engineers, Firm Registration # 470  
Texas Board of Professional Geoscientists, Firm Registration # 50351





LAND DEVELOPMENT ENVIRONMENTAL TRANSPORTATION WATER RESOURCES SURVEYING

February 7, 2013

Mr. John Rodriguez  
City of San Antonio  
Capital Improvements Management Services  
Environmental Management Division  
111 Soledad, Suite 675  
San Antonio, Texas 78205

Re: Sterling Property (1434 E. Commerce and 323 Idaho)  
Phase I Environmental Site Assessment  
Cost Center #: 3401010001 GL: 5201040

Dear Mr. Rodriguez:

Please find enclosed three (3) hard copies and two (2) electronic copies of a Phase I Environmental Site Assessment report which summarizes our findings for the proposed Sterling Property (1434 E. Commerce and 323 Idaho) site. The subject site is located at the southwest corner of the intersection of East Commerce Street and South Hackberry Street at 1434 East Commerce Street and 323 Idaho Street in downtown San Antonio, Bexar County, Texas, in Council District 2. We have enjoyed working on this project for the City of San Antonio (CoSA) Capital Improvements Management Services (CIMS) Environmental Management Division (EMD).

If we may provide further services, please do not hesitate to call on us.

Sincerely,

Pape-Dawson Engineers, Inc.

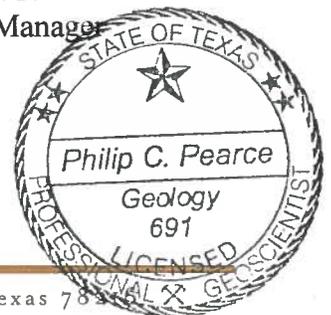
Texas Board of Professional Engineers, Firm Registration # 470  
Texas Board of Professional Geoscientists, Firm Registration # 50351

Cara C. Tackett, P.E.  
Vice President

Enclosures  
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Philip C. Pearce, P.G.  
Geologist/Project Manager



**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**

**TABLE OF CONTENTS**

1. SUMMARY ..... 1

2. INTRODUCTION ..... 5

    2.1 Purpose ..... 5

    2.2 Detailed Scope-of-Services ..... 5

    2.3 Significant Assumptions ..... 6

    2.4 Limitations and Expectations ..... 7

3. SITE DESCRIPTION ..... 8

    3.1 Locations and Legal Descriptions ..... 8

    3.2 Site and Vicinity General Characteristics ..... 9

    3.3 Current Use of the Property ..... 9

    3.4 Structures, Roads and Other Improvements ..... 10

    3.5 Current Uses of Adjoining Properties ..... 10

4. USER PROVIDED INFORMATION ..... 12

    4.1 Specialized Knowledge ..... 12

    4.2 Commonly Known or Reasonably Ascertainable Information ..... 12

    4.3 Owner, Property Manager, and Occupant Information ..... 12

5. RECORDS REVIEW ..... 12

    5.1 Standard Environmental Record Sources ..... 12

    5.2 Additional Environmental Record Sources ..... 21

        5.2.1 Asbestos and Lead-Based Paint Surveys ..... 21

        5.2.2 Closed Landfill Inventory ..... 22

    5.3 Physical Setting Sources ..... 22

        5.3.1 Surface Soil Characteristics ..... 22

        5.3.2 Surface Geological Characterization ..... 22

        5.3.3 Floodplain Information ..... 23

        5.3.4 Ground Water Characteristics ..... 23

        5.3.5 Radon ..... 24

    5.4 Historical Use Information of the Property ..... 24

        5.4.1 Review of Historical Topographic Map ..... 25

        5.4.2 Review of Aerial Photographs ..... 26

        5.4.3 Historical City Directories/Fire Insurance Maps ..... 27

    5.5 Historical Use Information on Adjoining Properties ..... 35

6. SITE RECONNAISSANCE ..... 36

    6.1 Methodology and Limiting Conditions ..... 36

    6.2 General Site Settings ..... 37

    6.3 Exterior Observations ..... 37

    6.4 Interior Observations ..... 40

7. INTERVIEWS ..... 41

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**

7.1 Interview With Owner and/or Property Manager and/or Occupants ..... 41  
7.2 Interview With Others..... 41  
8. FINDINGS ..... 42  
9. OPINION ..... 43  
10. CONCLUSIONS ..... 44  
11. SPECIAL TERMS AND CONDITIONS ..... 45  
12. USER RELIANCE ..... 45  
13. DEVIATIONS..... 45  
14. ADDITIONAL SERVICES ..... 45  
15. REFERENCES..... 45  
16. SIGNATURE OF ENVIRONMENTAL PROFESSIONAL..... 47

APPENDIX 1 - SITE LOCATION MAP

APPENDIX 2 - U.S. GEOLOGICAL SURVEY TOPOGRAPHIC MAP

APPENDIX 3 - SITE PLAN

APPENDIX 4 - FINDINGS MAP

APPENDIX 5 - SITE PHOTOGRAPHS

APPENDIX 6 - HISTORICAL RESEARCH DOCUMENTATION

-1953 U.S. GEOLOGICAL SURVEY TOPOGRAPHIC MAP

-1992 U.S. GEOLOGICAL SURVEY TOPOGRAPHIC MAP

-1938 AERIAL PHOTOGRAPH

-1959 AERIAL PHOTOGRAPH

-1966 AERIAL PHOTOGRAPH

-1973 AERIAL PHOTOGRAPH

-1985 AERIAL PHOTOGRAPH

-1995 AERIAL PHOTOGRAPH

-2001 AERIAL PHOTOGRAPH

-2003 AERIAL PHOTOGRAPH

-2005 AERIAL PHOTOGRAPH

-2006 AERIAL PHOTOGRAPH

-2007 AERIAL PHOTOGRAPH

-2008 AERIAL PHOTOGRAPH

-2009 AERIAL PHOTOGRAPH

-2010 AERIAL PHOTOGRAPH

-2011 AERIAL PHOTOGRAPH

-2012 AERIAL PHOTOGRAPH

-CITY DIRECTORIES

-SANBORN MAPS

APPENDIX 7 - REGULATORY RECORDS DOCUMENTATION

-BEXAR COUNTY APPRAISAL DISTRICT

-REGULATORY REPORT

APPENDIX 8 - INTERVIEW DOCUMENTATION

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

## 1. SUMMARY

Pape-Dawson Engineers, Inc. (Pape-Dawson) performed a Phase I Environmental Site Assessment (ESA) for the proposed Sterling Property (1434 E. Commerce and 323 Idaho) site, located at the southeast corner of the intersection of East Commerce Street and South Hackberry Street on the east side of downtown San Antonio, Bexar County, Texas, in Council District 2. This study was conducted in conformance with the scope and limitations of American Society of Testing and Materials (ASTM) Standard Practice for Environmental Site Assessments, E 1527-05.

The objective of Pape-Dawson's services was to identify and record any obvious existing or potential conditions that could cause potential environmental liability to, or restrict the use of, the subject site. CoSA plans to demolish two (2) residential structures and renovate the commercial building located on the subject site. The above-mentioned properties at 1434 E. Commerce and 323 Idaho and associated improvements are herein referenced as the "subject site."

The subject site was developed with a vacant commercial building and two (2) residential dwellings at the time of the site visit. Construction and demolition debris and trash debris were scattered throughout the commercial building. The debris included a lawn mower, furniture, card board boxes, sheet rock, plastic bags, and other debris. No hazardous materials were observed within the commercial structure.

San Antonio Fire Station #3, located across Commerce Street from the subject site at 1425 East Commerce Street, was identified in the regulatory database report as containing petroleum storage tanks. This facility had two (2) releases from underground storage tanks that impacted soils in February 1986 and January 1992.

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

Model Dyers and Cleaners was listed at 1010 East Commerce Street in the 1922-23 city directories. This potential dry cleaner facility was located east and upgrade of the subject site.

West's Auto Repair Shop and H W Kreger Auto Repair were listed at 927 East Commerce Street in the 1922-23 and 1929-30 city directories. This address was mapped north of the subject site and adjacent to East Commerce Street.

Manuel's Paint and Body Shop is located east of the subject site along South Hackberry Street. This facility was identified as an automotive repair and body shop in the city directories from at least 1951 and up until the date of the site visit. An auto repair shop and welding facility was identified at this location in the 1951, 1952, and 1971 *Sanborn* Maps.

Commerce Quick Stop, located at 1502 East Commerce Street, was identified as a service station in the city directories review from at least 1929-30 to 1957. This facility was also listed as a filling station containing petroleum storage tanks in the 1951, 1952, and 1971 *Sanborn* Maps.

Midway Cleaners, located at 1503 East Commerce Street, was identified in the regulatory database report as a dry cleaners facility. This dry cleaner was also listed in the city directories from at least 1936-37 to 2002 and in the 1951, 1952, and 1971 *Sanborn* Maps.

Imperial Loan and Jewelry Company, located at 1431 East Commerce Street, was identified as a service station in the city directories review from at least 1922-23 to 1973. This property was also identified as a filling station with petroleum storage tanks in the 1951, 1952, 1969, and 1971 *Sanborn* Maps.

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

Due to the close upgrade location of the Midway Cleaners and Model Dyers and Cleaners facilities, Stoddard and chlorinated solvents may have adversely impacted the soils and/or groundwater within the site boundary. Therefore, Midway Cleaners and Model Dyers and Cleaners are considered recognized environmental conditions (RECs) for the subject site.

Petroleum hydrocarbons may have adversely impacted the soils and/or groundwater within the site boundary from the historic service stations, auto repair shops, and fire station located to the north and east of the subject site. Therefore, the San Antonio Fire Station #3, Imperial Loan and Jewelry Company, Commerce Quick Stop, Manuel Paint & Body Shop, and West's Auto Repair Shop/HW Kreger Repair were identified as RECs for the subject site.

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-05 of Sterling Property (1434 E. Commerce and 323 Idaho), the subject site. Any exceptions to, or deletions from, this practice are described in Section 2 of this report. This assessment has revealed seven (7) Recognized Environmental Conditions (RECs) in connection with the property.

- Midway Cleaners, a dry cleaning facility listed at 1503 East Commerce Street.
- Imperial Loan & Jewelry Company, located at 1431 East Commerce Street, is a historic service station identified in the city directories and *Sanborn* Maps.
- San Antonio Fire Station #3, located at 1425 East Commerce Street, was identified in the regulatory database report with two (2) past releases from petroleum storage tanks.
- Commerce Quick Stop, located at 1502 East Commerce Street, was identified as a service station in the city directories and *Sanborn* Maps.

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

- Manuel's Paint & Body Shop, located at 106 South Hackberry Street, was identified as an automotive repair shop in the city directories, *Sanborn* Maps, and during the site visit.
- Model Dyers and Cleaners, located east of the subject site and south of East Commerce Street, was identified as a dry cleaner in the city directories.
- West's Auto Repair Shop and H W Kreger Repair, located north of the subject site, was identified as an automotive repair shop in the city directories review.

Should future development involve processes such as pier drilling or deep excavation within the subject site, then a Phase II Environmental Assessment should be conducted prior to those activities.

Although the construction and demolition debris and trash debris are not considered a recognized environmental condition as defined by ASTM 1527-05, the debris should be removed from the subject site and recycled or disposed at an appropriate landfill facility.

Results of surveys for asbestos containing materials and lead-based paint will be provided in a separate report prepared by Aleo Environmental Enterprises, Inc. The commercial structure was evaluated. Access to the residential structures was not available.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

### 2. INTRODUCTION

#### 2.1 Purpose

The purpose of this environmental risk evaluation and Phase I ESA is to identify reasonably observable, on-site and/or adjacent potential sources of contamination, which could adversely affect the environmental quality of the subject site, and to ascertain the possibility of site contamination that may have resulted from historical use of the subject site.

This report is prepared in accordance with a proposal dated October 30, 2012, and is subject to the limitations and restrictions in that agreement. No services beyond those explicitly stated in the agreement should be inferred or implied.

#### 2.2 Detailed Scope-of-Services

This Phase I ESA was conducted to identify recognized environmental conditions on the proposed project site and was performed in accordance with current ASTM standards, the City of San Antonio CIMS Environmental Phase I ESA Template (Rev. Jan 1, 2012), and Pape-Dawson's standard scope of services which are presented below:

- (1) obtain information indicating the likelihood of Recognized Environmental Conditions (RECs) in connection with the property;
- (2) look for signs of environmental misuse or the presence of hazardous substances;
- (3) identify current and past uses of the property and whether the uses involved the use, treatment, storage, disposal, or generation of hazardous substances or petroleum products;
- (4) determine the current and past utilization of adjacent tracts;
- (5) observe general land uses in the surrounding area;
- (6) observe general geologic, hydrogeologic, hydrologic, and topographic conditions;

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

- (7) observe structures, roads, potable water supplies, and sewage disposal systems;
- (8) observe operations involving the use, treatment, storage, disposal, or generation of hazardous substances or petroleum products;
- (9) identify strong, pungent, or noxious odors and the sources of the odors;
- (10) identify hazardous materials or petroleum product storage tanks and containers; pools of liquid; PCB containing equipment; the fuel sources of heating and cooling systems; stains or corrosion; drains and sumps; pits, ponds, and lagoons; stained soil or pavement; stressed vegetation; solid waste; waste water; and wells;
- (11) Conduct interviews with the current property owner(s) and/or “knowledgeable site personnel” in an attempt to determine current and/or historical on-site activities that may be relevant to the proposed project site and/or adjoining properties;
- (12) Review selected, available lists published by state and federal environmental regulatory agencies for records or comments pertaining to past or present environmental concerns at the subject site and/or within the specified “search distances” from the subject site. The search distances adhere to the standard distances proposed by the ASTM;
- (13) Review proposed project design plans, if available, to determine if proposed improvements may be affected by potential environmental concerns noted in this assessment; and
- (14) Identify additional testing required beyond the scope of the Phase I Environmental Assessment.

### 2.3 Significant Assumptions

This Phase I ESA is intended to minimize, but not eliminate, uncertainty regarding potential for recognized environmental conditions in connection with the subject site with reasonable limits of time and cost. It is assumed that the

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

client, CoSA, has provided Pape-Dawson with any specialized knowledge or experience that is material to recognized environmental conditions in connection with the subject site.

In general, groundwater flow direction has been inferred based on topography in the vicinity of the subject site with the assumption that shallow groundwater flow will follow surface topography. No site-specific measurements of groundwater depth and flow direction have been performed.

Based on this interpretation, Pape-Dawson has reviewed regulatory agency information for facilities that are located in a presumed up gradient direction that, further based on proximity and knowledge of potential contaminant fate and transport, may present a potential impact to the subject site.

Pape-Dawson has reviewed historical aerial photographs in an attempt to determine the past use of the subject site and adjoining properties. Although some uses can be determined, due to the quality and scale of the photographs, few on-site details are identifiable.

### 2.4 Limitations and Expectations

Pape-Dawson has endeavored to meet what it believes is the standard of care for the services performed and, in doing so, is obliged to advise the user of Phase I ESA limitations. Pape-Dawson believes that providing information about limitations is essential to help the user identify and thereby manage risks. These risks can be mitigated, but not eliminated, through additional research opportunities available and the associated costs.

This Phase I ESA did not include any inquiry with respect to radon, methane, lead in drinking water, formaldehyde, jurisdictional waters, regulatory compliance,

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

archeological resources, health and safety, ecological resources, wildlife sanctuaries, high voltage power lines, sinkholes, caves or other karst or geologic features, narcotics, cemeteries, subsurface investigation activities or other services or potential conditions or features not specifically identified and discussed herein. Review of a title commitment report, or chain-of-title search was not included in the scope of this project. Surveys within the on-site building for asbestos containing materials were conducted concurrently with this Phase I ESA and document research.

All conclusions, opinions and recommendations in this report are based upon the subject site conditions at the time of Pape-Dawson's site visit and should not be relied upon to represent conditions at later dates.

This report is not intended to be a definitive investigation of possible contamination at the subject site. The purpose and scope of this investigation was to determine if there is reason to suspect the possibility of contamination at the subject site. No exploratory borings, soil or groundwater sampling, or laboratory analyses were performed at the subject site during the Phase I Environmental Site Assessment.

### 3. SITE DESCRIPTION

#### 3.1 Locations and Legal Descriptions

The subject site is located at the southwest corner of the intersection of East Commerce Street and South Hackberry Street at 1434 East Commerce and 323 Idaho Street on the east side of downtown San Antonio, Bexar County, Texas, in Council District 2 as illustrated on Exhibit 1 within Appendix 1.

The 0.5122-acre subject site consists of two (2) separate parcels currently owned by Bexar County, according to the Bexar County Appraisal District (BCAD),

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

obtained from [www.bcad.org](http://www.bcad.org). An 8,922.6 square-foot commercial building and two (2) residential houses are located on the subject site. The Legal Descriptions for the two (2) parcels are as follows: NCB 598 BLK 3 LOT 8 THRU 11 and NCB 598 BLK 3 LOT 12. Information obtained from BCAD for the above-mentioned property can be found in Appendix 7.

This Phase I ESA was requested by CoSA as part of their due diligence prior to purchasing the subject site. This Phase I ESA will assess the potential for contamination to be present within the project limits, and if present, provide recommendations for further assessment.

### 3.2 Site and Vicinity General Characteristics

Exhibit 2 shows the subject site on a 2012 aerial photograph with 2010 Bexar County topographic contours. The subject site is approximately 680 feet above mean sea level. Stormwater runoff appears to flow to the west-southwest toward the San Antonio River. The subject site is developed with a vacant commercial building and two (2) residential houses. A patchy asphalt driveway and parking lot are located south of the commercial building, and a concrete slab is located between the two (2) houses. Most of the developments in the surrounding area appear to be residential with commercial buildings located along East Commerce Street.

### 3.3 Current Use of the Property

The subject site is current developed with a commercial building and two (2) residential houses. The commercial building and one (1) residential house were unoccupied at the time of the site visit. According to Mr. Paul Jiminez, the current property owner representative, an individual is currently living in one of the residential houses illegally.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

Appendix 5 includes ground level photographs taken during the site reconnaissance which includes the Global Positioning System (GPS) coordinates and location of the photographs on aerial maps.

### 3.4 Structures, Roads and Other Improvements

The subject site is currently developed with an 8,922.6 square-foot commercial building, identified as 1432 and 1434 East Commerce Street, and two (2) residential houses (Exhibits 3 and 4; Appendix 5). The commercial structure was unoccupied at the time of the site visit. The commercial structure was previously utilized as a restaurant and hotel facility. The interior of the restaurant included two (2) large open rooms and a kitchen area (Appendix 5, Photograph 3). The interior of the hotel included a large open room and kitchen in the downstairs area and bedrooms in the upstairs area (Appendix 5, Photograph 2). Construction and demolition debris and other trash debris were located throughout the structure. The debris included a lawn mower, furniture, card board boxes, sheet rock, plastic bags, and other debris. Two (2) residential houses are located along the southern property line of the subject site (Exhibits 3 and 4; Appendix 5, Photographs 5 and 7). A concrete slab was located between the two (2) residential houses. A patchy asphalt parking area was located between the commercial buildings and the two (2) residential houses. A six-foot tall chain-link fence surrounds the boundary of the subject site.

### 3.5 Current Uses of Adjoining Properties

Significant development of property in the area around the subject site includes:

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

Direction	Current Uses of Adjoining Properties	Notes
North	East Commerce Street is located adjacent north of the subject site followed by Imperial Loan and Jewelry Company and a Fire Station.	See Exhibits 3 and 4; Imperial Loan and Jewelry Company was identified in the 1951, 1952, 1969, and 1971 <i>Sanborn</i> Maps as a service station containing petroleum storage tanks (PSTs), and listed in the city directories as a service station from at least 1922-23 to 1973 (Section 5.4.3; Appendix 6). The Fire Station was identified in the regulatory database report as Leaking Petroleum Storage Tanks (LPSTs) <u>San Antonio Fire Station 3</u> and <u>Fire Station 3</u> and <u>PST Fire Station No 3</u> (Map ID 1; Exhibits 3 and 4; Section 5.1; Appendix 6 and 7). The San Antonio Fire Station was also identified in the 1951, 1952, 1969, and 1971 <i>Sanborn</i> Maps and in the city directories from at least 1922-23 to 1993.
East	South Hackberry Street is located adjacent east of the subject site followed by Commerce Quick Stop, Manuel Paint & Body Shop, and a residential property.	See Exhibits 3 and 4; Commerce Quick Stop was identified in the 1951, 1952, and 1971 <i>Sanborn</i> Maps as a service station containing PSTs, and identified as a filling station in the 1922-23 through 1951 city directories (Section 5.4.3; Appendix 5, Photograph 6; Appendix 6). Manuel Paint & Body Shop was identified as an auto repair and welding facility in the 1951, 1952, and 1971 <i>Sanborn</i> Maps, and as a paint and body shop in the 1951 through 2002 city directories (Section 5.4.3; Appendix 5, Photograph 6; Appendix 6).
South	Idaho Street followed by residential properties is located adjacent south of the subject site.	See Exhibits 3 and 4.
West	A vacant commercial building and residential property are located adjacent west of the subject site.	See Exhibits 3 and 4.

Development in the immediate area of the subject site is largely commercial with residential properties located to the south and east.

Due to the close proximity of historic PSTs located at the Imperial Loan and Jewelry Company, San Antonio Fire Station, and Commerce Quick Stop, a release of petroleum hydrocarbons may have adversely impacted the soils and/or

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

groundwater within the site boundary. Therefore, these facilities are considered RECs for the subject site.

Due to the close upgrade location of Manuel Paint & Body Shop, this facility is considered a REC for the subject site.

#### 4. USER PROVIDED INFORMATION

##### 4.1 Specialized Knowledge

CoSA does not have any specialized knowledge regarding the subject site.

##### 4.2 Commonly Known or Reasonably Ascertainable Information

Based on our interviews, CoSA has no commonly known or reasonably ascertainable information about the subject site that is material to determining recognized environmental conditions.

##### 4.3 Owner, Property Manager, and Occupant Information

Pape-Dawson was escorted by Mr. Paul Jimenez, Special Projects Manager for the Center City Development Office, during the site visit. According to Mr. Jimenez, the commercial building located on site will be renovated and the two (2) residential houses will be demolished. Currently an individual is living in one (1) of the residential structures illegally, according to Mr. Jimenez. Mr. Jimenez believes the commercial building was previously utilized as a restaurant and brothel. Mr. Jimenez is unaware of any environmental concerns associated with the subject site or the surrounding area.

#### 5. RECORDS REVIEW

##### 5.1 Standard Environmental Record Sources

Federal and State Regulatory Listings - Federal (Environmental Protection Agency (EPA)) and state Texas Commission on Environmental Quality (TCEQ)

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

databases were researched for environmental listings within the area of concern around the subject property (Appendix 7).

The American Society for Testing and Materials (ASTM) Guidelines for minimum search distances, ASTM E1527-05 was used in the review of state and federal databases. The following are the minimum search distances:

<u>Database</u>	<u>Acronym</u>	<u>Minimum Search Distance</u> <u>Miles</u>
National Priority List	NPL	1
Delisted National Priority List	DNPL	1
Record of Decision System	RODS	1
Comprehensive Environmental Response, Compensation, and Liability Information System	CERCLIS	0.5
No Further Remedial Action Planned	NFRAP	0.5
Resource Conservation & Recovery Act – Corrective Action	RCRACOR	1
Resource Conservation and Recovery Information System – Treatment Storage or Disposal	RCRA TSD	0.5
Resource Conservation and Recovery Information System – Generators	RCRAGEN	¼
Emergency Response Notification System	ERNS	Property Only
Aerometric Information Retrieval System	AIRS	¼
National Response System	NRS	¼
Open Dump Inventory	ODI	½
Proposed National Priority List	PNPL	1
American Indian Reservation	INDRES	½
Tribal Registered Storage Tanks	TRST	½

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**

Institutional/Engineering Controls – Environmental Protection Agency	IECEPA	¼
Voluntary Cleanup Program	VCP	½
Innocent Owner/Operator Program	IOP	½
Superfund	SUPER	1
Municipal Solid Waste Landfill Facilities	MSWLF	½
Closed and Abandoned Landfill Inventory	CLI	½
Leaking Petroleum Storage Tanks	LPST	½
Petroleum Storage Tanks	PST	½
Industrial and Hazardous Waste	IHW	¼
Dry Cleaner Registration	DC	¼
Brownfields Site Assessments	BSA	½
Institutional/Engineering Controls – Atlas Environmental Research	IECAER	¼
Municipal Setting Designations	MSD	¼
Deleted Superfund	DSUPER	1
Proposed Superfund	PSUPER	1
Current Spill Response	CSPILLS	¼
Historic Spill Response	HSPILLS	¼

There were twenty-seven (27) sites with a total of thirty-six (36) environmental listings reported for the area of concern. Two (2) listings are identified as Resource Conservation & Recovery Act – Generator/Handler (RCRAGEN), two (2) listings are identified as Voluntary Cleanup Programs (VCPs), twenty-three (23) listings are identified as Leaking Petroleum Storage Tanks (LPSTs), five (5) listings are identified as Petroleum Storage Tanks (PSTs), two (2) listings are identified as Industrial and Hazardous Waste (IHW) facilities, one (1) listing is identified as a Dry Cleaner Registration (DC), and one (1) listing is identified as a

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

Brownfields Site Assessments (BSA). These facilities are labeled with map identification numbers on a location map within the regulatory database report (Appendix 7).

- ***Resource Conservation and Recovery Act - Generator/Handler (RCRAGEN):***

Friedrich Commercial, located at 1617 East Commerce Street, is approximately 0.15 miles northeast and upgrade in relation to the subject site (Map ID 5; Exhibit 4; Appendix 7). This refrigeration equipment manufacturing facility is considered a handler of hazardous waste. A violation was received in August 1986. Since this facility is not located on or adjacent to the subject site, this facility is not considered a REC. This facility was also identified as *IHW Friedrich Commercial – Refrigeration Div* and *PST Friedrich Air & Cond & Refrig*.

City of San Antonio, located at 223 South Cherry Street, is approximately 0.15 miles southwest and downgrade from the subject site (Map ID 6; Appendix 7). This traffic operations facility received three (3) violations in November 1996. Due to the distant downgrade location, this facility is not considered a REC for the subject site. This facility was also identified as *IHW Traffic Division*.

- ***Voluntary Cleanup Program (VCP):***

Historic Gardens Phase II is located approximately 0.37 miles south-southwest and cross grade in relation to the subject site (Map ID 20; Appendix 7). This subdivision and revitalization project contained soils impacted with Lead and other metals.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

New City Block (NCB) 637/Alamodome is located approximately 0.49 miles south-southwest and cross grade from the subject site (Map ID 26; Appendix 7). This vacant property contained soil and groundwater impacted with metals.

Due to the distant cross grade location of the above-mentioned *VCP* facilities, Historic Gardens Phase II and New City Block (NCB) 637/Alamodome are not considered RECs for the subject site.

- ***Leaking Petroleum Storage Tanks (LPST):***

San Antonio Fire Station 3 and Fire Station 3, located 1425 East Commerce Street, had releases that occurred from underground storage tanks (UST) in February 1989 and January 1992 (Map ID 1; Exhibits 3 and 4; Section 3.5 and 5.4.3; Appendix 6 and 7). The 1989 release impacted soils and required a full site assessment and remedial action plan. A final concurrence was issued by the TCEQ and the case was closed. The 1992 release contributed to minor soil contamination that did not require remedial actions. A final concurrence was issued by the TCEQ and the case was closed. The San Antonio Fire Station was identified in the 1951, 1952, 1969, and 1971 *Sanborn* Maps and in the 1922-23 through 1993 city directories (Section 5.4.3; Appendix 6). Due to the close proximity of this facility, the past reported releases may have adversely impacted the soils within the site boundary. Therefore, this facility is considered a REC.

Based on the relative distance from the subject site, inferred direction of groundwater flow, and/or regulatory status, the below listed *LPST* facilities are not considered RECs for the subject site.

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

Map ID No.	Facility Type & LPST Number	Distance From Site	Facility Name & Address	Potential For Substantial Impact	Notes
4	LPST 109339	0.15 W	Catering By Rosemary, 1220 E. Commerce, SATX	No	A release was reported on March 1995; Groundwater impacted, no apparent threats or impacts to receptors; Final concurrence issued, case closed.
8	LPST 093820	0.27 W	Alamo Iron Works, 101 Montana, SATX	No	A release was reported in September 1989; Group 1 groundwater was impacted, off-site migration unlikely; Final concurrence issued, case closed.
8	LPST 097351	0.27 W	Alamo Iron Works Dome Site, 101 Montana St., SATX	No	A release was reported in November 1990; Group 1 groundwater impacted, plume has/likely to migrate off-site; Final concurrence issued, case closed.
9	LPST 106162	0.27 NW	Unknown0, 300 N. Center, SATX	No	A release was reported in December 1992; Minor soil contamination only, no remedial action required; Final concurrence issued, case closed.
10	LPST 105486	0.32 W	VIA AIW Hoefgen & Galveston, Hoefgen St., SATX	No	A release was reported in December 1992; Minor soil contamination, does not required a remedial action plan; Final concurrence issued, case closed.
11	LPST 117666	0.33 N	Houston Mart, 1533 E. Houston St., SATX	No	A release was reported in February 2008; Assessment is incomplete, no apparent receptors impacted; Final concurrence issued, case closed.
12	LPST 115192	0.34 S	Houston Convenience Store 1007, 533 Hackberry, SATX	No	A release was reported in May 2001; Groundwater impacted, no apparent threats or impacts to receptors; Final concurrence issued, case closed.
13	LPST 110427	0.34 NW	E N Garage, 237 N Center St., SATX	No	A release was reported in February 1996; Groundwater impacted, non-public/non-domestic water supply well was impacted; Final concurrence issued, case closed
14	LPST 099943	0.34 N	Texaco Service Station, 1029 E. Houston, SATX	No	A release was reported in August 1991; No groundwater impacts, no apparent threats or impacts to receptors; Final concurrence issued, case closed.
15	LPST 097938	0.34 SW	VIA Metropolitan Transit, 313 Dakota, SATX	No	A release was reported in January 1991; Soil contamination only, requires a full site assessment and remedial action plan; Final concurrence issued, case closed.

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

Map ID No.	Facility Type & LPST Number	Distance From Site	Facility Name & Address	Potential For Substantial Impact	Notes
16	LPST 113481	0.35 NW	Consolidated Parcel Service Inc, 310 Chestnut St., SATX	No	A release was reported in September 1998; Groundwater impacted, no apparent threats or impacts to receptors; Final concurrence pending documentation of well plugging.
17	LPST 118558	0.35 N	Kerrville Bus, 1430 E. Houston St., SATX	No	A release was reported in February 2011; Assessment incomplete, no apparent receptors impacted.
18	LPST 095796	0.37 SW	PMT, 402 Hoefgen, SATX	No	A release was reported in May 1990; Group 1 groundwater, off-site migration unlikely; Final concurrence issued, case closed.
19	LPST 095698	0.37 SW	Southwestern Bell Telephone Co., 302 Dakota St., SATX	No	A release was reported in May 1990; Group 1 groundwater, off-site migration unlikely; Final concurrence issued, case closed.
21	LPST 096978	0.44 SW	Eastside Service Center, 310 Nevada St., SATX	No	A release was reported in October 1990; Assessment incomplete, no apparent receptors impacted; Final concurrence issued, case closed.
22	LPST 097064	0.46 SW	Alamo Dome Site, 219 Nevada St., SATX	No	A release was reported in October 1990; Minor soil contamination, does not require a remedial action plan; Final concurrence issued, case closed.
23	LPST 094967	0.47 SW	City of San Antonio Central Shop, 224 Nevada St., SATX	No	A release was reported in February 1990; Soil contamination only, requires full site assessment and remedial action plan; Final concurrence issued, case closed.
23	LPST 094968	0.47 SW	City of San Antonio Central Shop, 224 Nevada St., SATX	No	A release was reported in February 1990; Group 1 groundwater impacted, off-site migration unlikely; Final concurrence issued, case closed.
24	LPST 115954	0.48 S	Douglas Elementary School, 318 Martin Luther King, SATX	No	A release was reported in September 2003; Assessment incomplete, no apparent receptors impacted; Final concurrence issued, case closed.
25	LPST 096041	0.49 SW	Allied Electric Co., 511 Hoefgen, SATX	No	A release was reported In July 1990; Group 1 groundwater impacted, off-site migration unlikely; Final concurrence issued, case closed.

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

Map ID No.	Facility Type & LPST Number	Distance From Site	Facility Name & Address	Potential For Substantial Impact	Notes
27	LPST 102752	0.51 W	City Water Board Central Plant, 1001 E. Market St., SATX	No	A release was reported in March 1992; Minor soil contamination, no remedial action required; Final concurrence issued, case closed.

- ***Petroleum Storage Tanks (PST):***

Fire Station No 3, located at 1425 East Commerce Street, was identified as *LPSTs* San Antonio Station 3 and Fire Station 3 (Map ID 1; Exhibits 3 and 4; Sections 3.5 and 5.4.3; Appendix 6 and 7). This facility contained two (2) USTs that were removed from the ground in December 1991 and February 1989. More information on this facility can be found in Section 5.1 *Standard Environmental Record Sources* under the *LPST* bullet.

Based on the relative distance from the subject site, inferred direction of groundwater flow, and/or regulatory status, the below listed *PST* facilities are not considered RECs for the subject site.

Map ID No.	Facility Type & Facility Number	Distance From Site	Facility Name & Address	Potential For Substantial Impact	Notes
3	PST 0003035	0.05 NE	Roegelien Meat Packing Plant, 1511 Commerce St., SATX	No	One (1) UST removed from the ground; No releases reported (Map ID 3; Exhibit 4; Appendix 7).
4	PST 0000774	0.15 W	Catering By Rosemary, 1220 E. Commerce, SATX	No	Three (3) USTs removed from the ground in March 1995; Identified as <i>LPST Catering By Rosemary</i> (Map ID 4; Exhibit 4; Appendix 7).

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**

Map ID No.	Facility Type & Facility Number	Distance From Site	Facility Name & Address	Potential For Substantial Impact	Notes
5	PST 0034527	0.15 E	Friedrich Air & Cond & Refrig, 1617 E. Commerce St., SATX	No	One (1) USTs permanently filled in placed in March 1975; Identified as <u>IHW Friedrich Commercial - Refrigeration Div</u> and <u>RCRAGEN Friedrich Commercial</u> (Map ID 5; Appendix 7).
7	PST 0073490	0.23 N	Vacant Building, 232 N. Mesquite St., SATX	No	Two (2) USTs removed from the ground in August 2000 (Map ID 7; Appendix 7).

- ***Industrial and Hazardous Waste (IHW):***

Friedrich Commercial – Refrigeration Division, located at 1617 East Commerce Street, is approximately 0.15 miles northeast and upgrade from the subject site (Map ID 5; Exhibit 4; Appendix 7). This facility was identified in the regulatory database report as PST Friedrich Air & Cond & Refrig and RCRAGEN Friedrich Commercial.

Traffic Division, located at 223 South Cherry Street, is approximately 0.15 miles west and downgrade from the subject site (Map ID 6; Appendix 7). This facility is also identified as RCRAGEN City of San Antonio.

Since the above-mentioned *IHW* facilities are not located on or adjacent to the subject site, and no violations have been reported, these facilities are not considered RECs.

- ***Dry Cleaner Registration (DC):***

Midway Cleaners, located at 1503 East Commerce Street, is approximately 0.03 miles northeast and upgrade in relation to the subject site (Map ID 2; Exhibits 3 and 4; Sections 3.5 and 5.4.3; Appendix 6 and 7). This dry cleaner was also observed in the 1951, 1952, 1969, and 1971 *Sanborn* Maps, and in

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

the city directories as a dry cleaners between 1936-37 and 2002 (Section 5.4.3; Appendix 6). Due to the age and upgrade location of this facility, Stoddard and chlorinated solvents from Midway Cleaners may have adversely impacted the soils on the subject site. Therefore, Midway Cleaners is considered a REC.

- ***Brownfields Site Assessments (BSA):***

Historic Gardens Subdivision Unit III is located approximately 0.37 miles south-southwest and cross grade in relation to the subject site (Map ID 20; Appendix 7). This residential area has soils impacted with metals. Due to the distant location, this *BSA* facility is not considered a REC.

- ***Non-Geocoded Site:***

The Atlas Environmental Research regulatory report identified four (4) non-geocoded sites due to insufficient address information. Pape-Dawson located the approximate locations of all the non-geocoded sites within the same zip code of the subject site.

Based on their relative topographic position, distance, or current regulatory status these non-geocoded sites do not currently appear to be a source of environmental concern to the subject site.

## 5.2 Additional Environmental Record Sources

### 5.2.1 Asbestos and Lead-Based Paint Surveys

Asbestos and Lead-Based Paint Surveys were conducted by Aleo Environmental Enterprises, Inc. (Aleo) concurrently with this Phase I ESA. Results of the surveys are provided in a separate reported completed by Aleo.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

### 5.2.2 Closed Landfill Inventory

According to Alamo Area Council of Governments (AACOG) Closed Landfill Inventory Map, there are no inactive/active landfills within a ½-mile radius of the subject site.

### 5.3 Physical Setting Sources

The *San Antonio East, Texas* 2010 United States Geological Survey (USGS) (Exhibit 6) was used to determine the physical setting of the subject site. Review of the topographic map indicates the subject site is relatively flat with area drainage flowing to the southwest towards the San Antonio River.

#### 5.3.1 Surface Soil Characteristics

According to the Bexar County Soil Survey, the soil on the subject property is classified as follows:

Soil Classification	Permeability Rate	Corrosion Potential on Unprotected Steel Pipe
Houston Black clay, terrace, 1 to 3% slopes (HtB)	Slow	Very High

#### 5.3.2 Surface Geological Characterization

The subject site is located near the southern edge of the Balcones Fault Zone. The Balcones Fault Zone separates the relatively horizontal strata of the Edwards Plateau toward the northwest from the more steeply dipping strata of the Gulf of Mexico Basin toward the southeast. All faults have been inactive since the Miocene Epoch approximately 13 million years before present. San Antonio is located in a zone of low seismic hazard. The geologic units in central Bexar County range in age from Lower Cretaceous to Upper Cretaceous. The Lower Cretaceous units include the Glen Rose Limestone, the Edwards Group, and the

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

Georgetown Formation. The Upper Cretaceous units include the Del Rio Clay, the Buda Limestone, the Eagle Ford Group, the Austin Chalk, the Pecan Gap Chalk, and the Navarro Group. Quaternary and tertiary age fluvial deposits may lie in some valley areas.

According to the Geologic Atlas of Texas - San Antonio Sheet, the subject property lies within outcrop areas of fluvial terrace deposits that overlie the Navarro Group. Underlying the Navarro Group are the Pecan Gap Chalk, Austin Chalk, Eagle Ford Group, Buda Limestone, Del Rio Clay, Georgetown Formation, and the Edwards Group. The Edwards Aquifer is located within the Edwards Group.

### 5.3.3 Floodplain Information

According to Flood Insurance Rate Maps for Bexar County, Texas and Incorporated Areas, Map Number 48029C0415G, effective September 29, 2010, the subject property lies within Zone X (areas determined to be outside 500-year floodplain).

### 5.3.4 Ground Water Characteristics

The Edwards Aquifer is the dominant aquifer in the region. The aquifer outcrops across northern Bexar County, and is displaced downward by the Balcones Fault Zone to form a confined aquifer. The aquifer ranges in thickness from 450 to 550 feet. It produces large quantities of high quality water and is the major source of drinking water for the City of San Antonio.

The subject property is not located over the Contributing, Transition, or Recharge Zones of the Edwards Aquifer according to the TCEQ Edwards Aquifer Online Map Viewer. The Contributing, Transition, and Recharge

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

Zones are environmentally sensitive areas of the Aquifer. Consequently, development over the Contributing, Transition, or Recharge Zones is more stringently regulated, by both state and local authorities, than development in other less sensitive areas over the Edwards Aquifer.

There are no water wells listed in San Antonio Water System's (SAWS) Water Well Listing or the Texas Water Development Board (TWDB) Online Database for the subject site. No water wells were observed on the subject site during the site visit.

A basement structure at the east end of the commercial building was flooded during the site visits. Rotten wooded steps were unsafe to allow access.

### 5.3.5 Radon

Generally, radon is not a concern in the Bexar County area since the underlying limestone and clay formations are not a source for radon. Radon gas is measured in terms of picocuries per liter (pCi/L). A curie is a measure of radiation and a picocurie is one trillionth of a curie. The mean residential radon measurement level within Bexar County is 1.1 pCi/L, which is lower than the EPA's action level of 4 pCi/L. No radon testing was conducted during this Phase I Environmental Site Assessment. Assessment for radon is not within the scope of ASTM E 1527-05 and radon testing was not a task within the scope of this assessment.

### 5.4 Historical Use Information of the Property

Review of the historical sources (i.e. fire insurance maps, historical topographic maps, aerial photographs, etc) indicates the subject site was developed with two (2) commercial stores and a camp yard with several storage buildings in 1896. A

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

commercial store, two (2) residential dwellings, and several storage sheds were located on the subject site in 1904, and two (2) commercial stores, a warehouse, two (2) residential dwellings, and several storage buildings were located on the subject site in 1912. According to the city directories review, the address for the subject site in 1922-23 through 1967 was 928, 930, 932, and 934 East Commerce Street and 323 Idaho Street. Pierce Oil Station No. 1, Luckenbach Hardware Supply Company, and Quality Bakery were listed at 928, 930, and 932 East Commerce Street in the 1922-23 city directories. Pape-Dawson believes that there is an error in the directory listings and that Pierce Oil Station No. 1 should have been listed at 931 East Commerce Street, which is located at the northwest corner of the intersection of East Commerce Street and South Hackberry Street, based on aerial photograph evidence and later city directory listings. A L Reus Corp Store No. 3, Luckenbach Hardware Supply Company, and Brown Furniture Company were listed at the subject site in the 1929-30 city directories. Reus Buffet, Reus Package House, and H E Brown Manufacturing Company were listed on the subject site in the 1936-37, 1940-41, and 1946 city directories. Rues Buffet, Reus Package House Liquors, and Reus Buffet warehouse were listed on the subject site in the 1951, 1957, and 1962 city directories. According to the 1951, 1952, and 1971 *Sanborn* Maps, the subject site was developed with two (2) commercial stores, a warehouse, two (2) residential dwellings, and two (2) garages. The two (2) garages were no longer visible on the subject site by 2001.

Other published information utilized in conducting this environmental assessment is listed in Section 12. This section provides the “reasonably ascertainable” information obtained from our historical information search of the subject site.

### 5.4.1 Review of Historical Topographic Map

The 1953 USGS Topographic Map illustrates the subject site located within a highly developed area of San Antonio, Texas (Exhibit 5). East

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

Commerce Street, identified during the site reconnaissance, is a primary highly located adjacent north of the subject site. Light duty roadways travel throughout the surrounding area. Several churches are located to the north and south-southeast.

The 1992 USGS Topographic Map illustrates the subject site located within a highly developed area (Exhibit 6). East Commerce Street is a secondary highway located adjacent north of the subject site. Multiple light duty roadways are located throughout the surrounding area.

### 5.4.2 Review of Aerial Photographs

The subject site is illustrated on several exhibits in Appendix 6.

- Exhibit 7 is a 1938 aerial photograph illustrating the subject site developed with a commercial structure, two (2) residential houses, and a garage. East Commerce Street, identified during the site reconnaissance, is located adjacent north of the subject site, and South Hackberry Street is located adjacent east. Idaho Street, identified during the site reconnaissance is located adjacent south of the subject site. The surrounding area appears to be developed with residential and/or commercial structures.
- Exhibit 8 is a 1959 aerial photograph illustrating the subject site developed with a commercial structure, two (2) residential dwellings, and a garage. South Hackberry Street appears to have been widened and repaved.

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

- Exhibits 9 and 10 are 1966 and 1977 aerial photographs illustrating the subject site and surrounding area similar to as it appeared in the 1959 aerial photograph.
- Exhibit 11 is a 1985 aerial photograph illustrating the subject site developed with a commercial structure, two (2) residential dwellings, and a garage. A new commercial structure was developed north of the subject site adjacent to East Commerce Street.
- Exhibit 12 is a 1995 aerial photograph illustrating the subject site developed with two (2) residential dwellings, a commercial structure, and a garage. Several residential and/or commercial buildings are no longer present west of the subject site between East Commerce Street and Idaho Street.
- Exhibit 13 is a 2001 aerial photograph illustrating the subject site developed with two (2) residential houses and a commercial building. The garage located between the two (2) residential dwellings is no longer visible.
- Exhibits 14, 15, 16, 17, 18, 19, 20, 21, and 22 are 2003, 2005, 2006, 2007, 2008, 2009, 2010, 2011, and 2012 aerial photographs illustrating the subject site and surrounding area similar to as it appeared during the site visit.

### 5.4.3 Historical City Directories/Fire Insurance Maps

Fire insurance maps are typically published for pre-1960 central business districts. In the late nineteenth century, the Sanborn Company began

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

preparing maps for use by fire insurance companies. Seven (7) years of *Sanborn Fire Insurance Maps* were available for this area of Bexar County.

A filling station with PSTs and the San Antonio Fire Department were located north of the subject site at the northwest corner of the intersection of North Hackberry Street and East Commerce Street in the 1951, 1952, 1969, and 1971 *Sanborn Maps*. The filling station, identified as Imperial Loan and Jewelry Company during the site reconnaissance, was also listed as a service station in the 1922-23 through 1973 city directories (Exhibits 3 and 4; Section 3.5; Appendix 6). The San Antonio Fire Department was identified in the regulatory database report as LPSTs San Antonio Fire Station 3 and Fire Station 3 and PST Fire Station No 3 (Map ID 1; Exhibits 3 and 4; Sections 3.5 and 5.1; Appendix 6 and 7). The San Antonio Fire Station was also listed in the 1922-23 to 1993 city directories. Due to the close proximity of the historic filling station and the San Antonio Fire Department, these properties are considered a REC for the subject site.

A dry cleaners and an auto repair shop with PSTs were located north of East Commerce Street between North Olive Street and North Hackberry Street in the 1951, 1952, 1969, and 1971 *Sanborn Maps* (Map ID 2; Exhibits 3 and 4; Section 5.1; Appendix 6). The dry cleaner was identified in the regulatory database report as Midway Cleaners at 1503 East Commerce Street, and in the 1936-37 through 2002 city directories. Due to the close upgrade location, Stoddard and chlorinated solvents may have adversely impacted the soils and/or groundwater within the site boundary. Therefore, Midway Cleaners is considered a REC. Due to the

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

distant location of the auto repair shop, it is unlikely a release from the PSTs could have impacted the soils within the subject site.

A filling station with PSTs and an auto repair shop and welding facility were located east of the subject site between East Commerce Street and Idaho Street in the 1951, 1952, and 1971 *Sanborn* Maps. The filling station was identified as Commerce Quick Stop during the site visit and as a service station in the 1922-23 through 1957 city directories (Exhibits 3 and 4; Section 3.5; Appendix 5, Photograph 6; Appendix 6). The auto repair shop and welding facility was identified during the site visit as Manuel Paint & Body Shop and as an automotive repair and body shop in the 1951 through 2002 city directories. Due to the close upgrade location of this historic service station and auto repair shop, the Commerce Quick Stop and Manuel Paint & Body Shop facilities are considered RECs for the subject site.

A filling station with PSTs was located at the southeast corner of the intersection of Idaho Street and South Hackberry Street in the 1951, 1952, and 1971 *Sanborn* Maps. This property was also identified as a service station in the 1929-30 through 1957 city directories and as Econo-Mart Cleaners in the 1967 city directories (Exhibits 3 and 4; Appendix 6). Due to the cross grade location, the filling station identified at the southeast corner of the intersection of Idaho Street and South Hackberry Street is not considered a REC for the subject site.

Two (2) filling stations were located north of East Commerce Street between the San Antonio Fire Department and North Mesquite Street in the 1951 and 1952 *Sanborn* Maps (Exhibits 3 and 4; Appendix 6). A filling station and dry cleaners were located west of the San Antonio Fire

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**

Department in the 1969 and 1971 *Sanborn* Maps. The filling station located at the northeast corner of East Commerce Street and North Mesquite Street was also listed as a service station in the 1936-37 through 1983 city directories. Due to the cross grade locations, these historic filling stations are not considered RECs for the subject site.

A summary of the *Sanborn* Maps is described in the table below:

Year	Sheet Numbers	Notes
1896	74	The subject site is developed with two (2) commercial stores located along the northern property line and a camp yard with several storage sheds. East Commerce Street is located adjacent north of the subject site and South Hackberry Street is located adjacent east. Idaho Street travels parallel to the southern property line of the subject site. Most of the developments in the surrounding area appear to be residential with commercial stores located to the northeast along East Commerce Street.
1904	130	The subject site is developed with a vacant commercial store at the northeast corner of the subject site. Two (2) residential dwellings, a camp yard, and two (2) storage sheds are located within the central and southern section of the subject site. Commercial stores are located at the northeast corner of the intersection of North Hackberry Street and East Commerce Street.
1912	262, 130	The subject site is developed with three (3) commercial stores, two (2) residential dwellings, and three (3) storage sheds. The adjacent properties are developed with residential dwellings with the exception of an unidentified commercial store located at the southeast corner of the intersection of East Commerce Street and South Hackberry Street. A residential dwelling and black smith shop are located at the northwest corner of the intersection of East Commerce Street and South Hackberry Street and commercial stores are located at the northeast corner. San Antonio Marble Works is located north-northwest of the subject site.

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

Year	Sheet Numbers	Notes
1951	262, 130	The subject site is developed with three (3) commercial stores, a warehouse, two (2) residential dwellings, and two (2) garages. A filling station with PSTs is located at the southeast corner of the intersection of East Commerce Street and South Hackberry Street. An auto repair and welding shop is located south of the filling station. A filling station with PSTs is also located at the southeast corner of the intersection of Idaho Street and South Hackberry Street. Three (3) filling stations with PSTs, and the San Antonio Fire Department are located adjacent north of East Commerce Street. A dry cleaners along with several other unidentified commercial stored are located at the northeast corner of the intersection of East Commerce Street and South Hackberry Street. The San Antonio Granite and Marble Works and an auto repair shop with PSTs is located north of East Commerce Street between South Hackberry Street and North Olive Street.
1952	262, 130	The 1952 <i>Sanborn</i> Maps appear similar to the 1951 <i>Sanborn</i> Maps with the exception of a dry cleaners located west of the subject site and south of East Commerce Street.
1969	131	Two (2) filling stations, a dry cleaner, a commercial store, and the San Antonio Fire Department are located north of East Commerce Street between North Hackberry Street and North Mesquite Street. A dry cleaning facility, a meat packing facility, two (2) auto repair shops, and other unidentified commercial businesses are located adjacent north of East Commerce Street between North Hackberry Street and North Olive Street.
1971	275, 131	The subject site is developed with two (2) commercial stores, two (2) residential dwellings, and a garage. A commercial store and an auto repair and welding facility are located east of the subject site and adjacent to South Hackberry Street. A filling station with PSTs is located at the southeast corner of the intersection of Idaho Street and South Hackberry Street. The properties located north of East Commerce Street appear similar to as they appeared in the 1969 <i>Sanborn</i> Map.

City directories are published for urban areas and provide listings of residences, and businesses. City directories were reviewed and are summarized below. The City directories review provided by Atlas Environmental Research, Inc., is attached within Appendix 6.

According to the city directories review, the address for the subject site from 1922-23 through 1967 was 928, 930, 932, and 934 East Commerce Street and 323 Idaho Street. Pierce Oil Station No. 1, Luckenbach

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

Hardware Supply Company, and Quality Bakery were listed at 928, 930, and 932 East Commerce Street in the 1922-23 city directories. Based on *Sanborn* maps, historical photographs, and later directory listings, Pape-Dawson believes that there is an error in the directory listings and Pierce Oil Station No. 1 should have been listed at 931 East Commerce Street, which is located at the northwest corner of the intersection of East Commerce Street and South Hackberry Street. A L Reus Corp Store No. 3, Luckenbach Hardware Supply Company, and Brown Furniture Company were listed at the subject site in the 1929-30 city directories. Reus Buffet, Reus Package House, and H E Brown Manufacturing Company were listed on the subject site in the 1936-37, 1940-41, and 1946 city directories. Rues Buffet, Reus Package House Liquors, and Reus Buffet warehouse were listed on the subject site in the 1951, 1957, and 1962 city directories. Ruedrich & Haas Bar & Café and Reus Package House No 1 was listed on the subject site in the 1967 and 1973 city directories. Ruedrich & Haas Bar & Care, Magic Chef Café, and Burton's Café were located on the subject site in 1978, 1983 and 1993 city directories. Apartments were listed at 323 Idaho Street in the 1951, 1988-89 and 1993 city directories.

Model Dyers and Cleaners was listed at 1010 East Commerce Street in the 1922-23 city directories (Exhibit 4; Appendix 6). This potential dry cleaners facility is located east and upgrade of the subject site. Stoddard and chlorinated solvents may have adversely impacted the soils and/or groundwater within the site boundary from this facility. Therefore Model Dyers and Cleaners is considered a REC for the subject site.

West's Auto Repair Shop and H W Kreger Auto Repair was listed at 927 East Commerce Street in the 1922-23 and 1929-30 city directories. This

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

address was mapped north of the subject site and adjacent to East Commerce Street. This property was also identified as a black smith shop in the 1951 and 1952 *Sanborn* Maps. These historic automotive repair shops are considered a REC for the subject site due to the close proximity from the subject site.

Fire Station No. 3 and City Fire Station No. 3 were listed at 923 East Commerce Street from at least 1922-23 to 1946, and at 925 East Commerce Street from at least 1951 through 1967 (Map ID 1; Exhibits 3 and 4; Sections 3.5 and 5.1; Appendix 6 and 7). Between 1967 and 1973 the addresses along East Commerce Street were renumbered. City Fire Station No. 3 was listed at 1425 East Commerce Street from at least 1973 to 1993. The San Antonio Fire Station was identified in the 1951, 1952, 1969, and 1971 *Sanborn* Maps at this address, and identified in the regulatory database report as LPSTs San Antonio Fire Station 3 and Fire Station 3 and PST Fire Station No 3. Due to the close proximity of this facility in relation to the subject site and the reported past releases from PSTs, this facility is considered a REC.

Pierce Pet Corp Station No 1, Rams Service Station, Glenn I Satterfield Filling Station, Abundio R Caudillo Filling Station, E D Davis Gulf Service Station, Hardaway Gulf Service were listed at 931 East Commerce Street from at least 1929-30 to 1967. Between 1967 and 1973 the address along East Commerce Street were renumbered. Hardaway Gulf Service was listed at 1431 in the 1973 city directories. This address was mapped at the northwest corner of the intersection of East Commerce Street and North Hackberry Street during the site reconnaissance. A filling station with PSTs was located at this location in the 1951, 1952, 1969, and 1971 *Sanborn* Maps. This property was identified as Imperial Loan and Jewelry

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

Company during the site reconnaissance (Exhibits 3 and 4; Section 3.5; Appendix 6). This historic service station is considered a REC for the subject site due to the close proximity.

Midway Cleaners & Shoe Repair, Midway Shoe Repair, and Midway Cleaners were listed at 1003 East Commerce Street in 1936-37, 1940-41, and 1946 city directories, at 1003 in the 1951, 1962, 1967 city directories, and at 1503 in the 1978, 1983, 1988-89, 1993, and 2002 city directories (Exhibit 4; Map ID 2; Section 5.1; Appendix 6 and 7). This address was identified north of East Commerce Street between North Olive Street and North Hackberry Street. Midway Cleaners was identified in the regulatory database report as a *DC* facility, and in the 1951, 1952, 1969, and 1971 *Sanborn* Maps. Due to the close upgrade location, Stoddard and chlorinated solvents may have adversely impacted the soils and/or groundwater within the site boundary. Therefore, Midway Cleaners is considered a REC.

Grayburg Oil Co Station No. 15, August Brothers Filling Station, Weedon & Boldt Filling Station, Frank Marino Filling Station, Musgrove Service Station, Washington's Service Station were listed at 1002 East Commerce Street from at least 1929-30 to 1957. This address was mapped at the southeast corner of the intersection of East Commerce Street and South Hackberry Street. A filling station with PSTs was located at this address in the 1951, 1952, and 1971 *Sanborn* Maps. The filling station was identified as Commerce Quick Stop during the site visit (Exhibits 3 and 4; Section 3.5; Appendix 5, Photograph 6; Appendix 6). Due to the close upgrade location of this historic service station, this property is considered a REC.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

East Side Paint & Body Shop was listed at 106 South Hackberry Street in the 1951, 1957, 1962, 1967, and 1973 city directories (Exhibits 3 and 4; Section 3.5; Appendix 5, Photograph 6; Appendix 6). Manuel's Paint and Body Shop was listed at 106 South Hackberry Street in the 1978 through 2002 city directories, and identified east of the subject site during the site visit. An auto repair shop and welding facility was identified at 106 South Hackberry Street in the 1951, 1952, and 1971 *Sanborn* Maps. Due to the close upgrade location of this facility, Manuel's Paint & Body Shop is considered a REC for the subject site.

W S Smith filling station, George R Wesch filling station, George R Wesch Service Station, and Al Jones Texaco Service Station were listed at 118 South Hackberry Street in the 1929-30 to 1957 city directories (Exhibits 3 and 4; Appendix 6). Econo-Mart Cleaners was listed at 118 South Hackberry Street in 1967 and an auto shop was listed at this location in 1983. This address was identified at the southeast corner of the intersection of Idaho Street and South Hackberry Street. A filling station with PSTs was identified at this location in the 1951, 1952, and 1971 *Sanborn* Maps. Due to the cross grade location, the filling station listed at 118 Idaho Street between 1929-30 and 1957 is not considered a REC for the subject site.

### 5.5 Historical Use Information on Adjoining Properties

The same standard historical sources used in the previous section (i.e. fire insurance maps, historical topographic maps, aerial photographs, etc.) were used to determine the property use of adjoining properties. Information obtained from the historical sources are summarized below.

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

Direction	Historic Uses of Adjoining Properties
North	East Commerce Street was located adjacent north of the subject site prior to 1896 and up until the date of the site reconnaissance. Two (2) residential dwellings were listed north of East Commerce Street in 1896. A black smith shop and two (2) residential dwellings were located to the north in 1912. According to the city directories review, a service station was located at the northwest corner of the intersection of East Commerce Street and North Hackberry Street from at least 1922-23 to 1973. The San Antonio Fire Station was also located north of the subject site from at least 1922-23 to 1993. At the time of the site visit, Imperial Loan and Jewelry Company and the San Antonio Fire Station 3 were located north of the subject site.
East	South Hackberry Street was located adjacent east of the subject site prior to 1896 and up until the date of the site reconnaissance. Residential dwellings and an unidentified commercial store were located east of South Hackberry Street between 1896 and 1912. A service station was listed at the southeast corner of East Commerce Street and South Hackberry Street from at least 1922-23 to 1957. This historic service station was identified as Commerce Quick Stop during the site visit. An automotive repair and body shop was listed east of the subject site from at least 1951 and up until the date of the site visit. This automotive repair and body shop was identified as Manuel Paint & Body Shop during the site reconnaissance.
South	Idaho Street traveled parallel to the southern property line of the subject site prior to 1896 and up until the date of the site reconnaissance. Residential properties were located south of Idaho Street from at least 1896 and up until the date of the site visit.
West	Residential dwellings were located adjacent east of the subject site prior to 1896 and up until between 1912 and 1951 when commercial stores were developed adjacent south of East Commerce Street.

6. SITE RECONNAISSANCE

6.1 Methodology and Limiting Conditions

The objective of the site reconnaissance is to obtain information indicating the likelihood of identifying ASTM recognized environmental conditions in connection with the subject site to the extent not obstructed by bodies of water, adjacent buildings, dense vegetation, or other obstacles.

The subject site and adjoining properties were visually observed on October 24 and December 20, 2012 by Pape-Dawson environmental professionals. The purpose of the reconnaissance was to note evidence of recognized environmental conditions. Additionally, reconnaissance of the adjoining properties was performed to identify land use and the associated potential for producing

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

recognized environmental conditions. Adjacent properties were observed from the subject site and/or public right-of-way.

The subject site and boundaries were traversed by foot. Structures and areas exhibiting evidence of materials or waste storage or disposal were visually observed. The interior of the commercial building were observed during the site visit.

### 6.2 General Site Settings

The subject site consists of a commercial structure and two (2) residential dwellings at 1434 East Commerce Street and 323 Idaho Street in downtown San Antonio, Bexar County, Texas, in Council District 2 (Exhibits 1-4; Appendix 5).

### 6.3 Exterior Observations

The 0.5122-acre subject site is developed with an 8,922.6 square-foot commercial building and two (2) residential houses (Exhibits 3 and 4; Appendix 5). The exterior of the commercial building consists of stucco and tile walls (Appendix 5, Photographs 1 and 4). The exterior of the two (2) residential structures consist of wood siding with metal roofs (Appendix 5, Photographs 5 and 7). A patchy asphalt driveway and parking area is located south of the commercial structure and a concrete slab is located between the two (2) residential houses. A six-foot tall chain-link fence surrounds the site boundary.

- **Storage Tanks:** No existing petroleum storage tank facilities were observed during the site visit on or adjacent to the subject site.
- **Odors:** No strong, pungent, or noxious odors were detected on the subject site or within the vicinity of the subject site during the site visit.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

- **Pools of Liquid:** No pools of liquid were observed on the subject site or within the vicinity of the subject site during the site visit. A basement structure at the eastern end of the commercial structure was flooded at the time of the site visits. Rotting wooden steps leading into the basement were unsafe to allow access.
- **Drums:** No drums were observed on the subject site or within the surrounding vicinity.
- **Containers (Hazardous or Non-Hazardous):** No containers were observed on the subject site or within the surrounding vicinity.
- **PCBs (Electrical Transformers):** One (1) pole-mounted transformer was observed adjacent east of the subject site along the east-central property line of the site. No stained areas, stressed vegetation or other signs of a leaking transformer were observed during the site visit. However, CPS Energy was contacted for the potential of polychlorinated biphenyls (PCBs) being used in the electrical equipment serving the subject property. The following CPS Energy statement is provided for information and use as appropriate.

"In January 1986, CPS Energy initiated a program to remove from the CPS Energy distribution system all known "PCB transformers," defined as transformers containing greater than or equal to 500 parts per million ("ppm") polychlorinated biphenyl ("PCBs"). The term "known" refers to transformers and other equipment that either were labeled to contain greater than or equal to 500 ppm PCBs or, in the judgment of the engineer or field representative, were believed could reasonably have contained PCBs at concentrations greater than or equal to 500 ppm. This program has resulted in the removal of "known" PCB transformers within the CPS Energy customer distribution network.

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

Environmental Protection Agency (EPA) specifications for new transformers placed in service in the CPS Energy distribution system after 1979 required that such equipment contain no PCBs in excess of the lowest legally prescribed limit. To the extent that older transformers exist in the CPS Energy system, known PCB transformers have been replaced. CPS Energy operates mineral oil transformers in its distribution system. The EPA requires that, while in use, mineral oil transformers manufactured before July 2, 1979, must be assumed to contain greater than or equal to 50, but less than 500 parts per million (ppm) PCBs unless the PCB content of the transformer has been otherwise established by testing, nameplate labeling, or historical service records. The EPA does not require that such mineral oil transformers be tested for PCB content unless the unit fails and spills oil onto the environment, or the transformer is taken out of service for disposal. Thus, in the event of a transformer replacement or spill from a transformer, CPS Energy will conduct a test of the transformer fluid as required by the applicable regulations.

- **Staining/Stressed Vegetation:** No stressed vegetation from something other than insufficient rainfall was observed on the subject site or within the surrounding area. No notable soil or pavement stained by hazardous substances or petroleum products was observed.
- **Pits, Ponds, and Lagoons:** No pits, ponds, or lagoons were observed on the subject site or within the surrounding area.
- **Solid Waste:** Construction and demolition debris and trash debris were scattered throughout the commercial structure located on the subject site. The debris included a lawn mower, furniture, cardboard boxes, sheet rock, plastic bags, and other debris. No hazardous materials were observed within the commercial structure.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

- **Waste Water/Storm Water:** No discharge of wastewater or other liquids was observed on the subject site other than natural flow paths of storm water.
- **Wells:** No water wells were observed on the subject site or within the surrounding area.
- **Septic System:** No septic systems were observed on the subject site or surrounding properties.

### 6.4 Interior Observations

The subject site is currently developed with commercial building and two (2) residential houses (Exhibits 3 and 4; Appendix 5). The commercial structure was unoccupied at the time of the site visit. The commercial structure was previously utilized as a restaurant and hotel facility. The interior of the restaurant included two (2) large open rooms and a kitchen area with concrete floors and stucco walls and ceiling (Appendix 5, Photograph 3). The interior of the hotel included a large open room and kitchen in the downstairs area and bedrooms in the upstairs area (Appendix 5, Photograph 2). The floors consisted of tile and carpet with sheet rock and wood paneled walls. Construction and demolition debris and other trash debris were scattered throughout the structure. The debris included a lawn mower, furniture, card board boxes, sheet rock, plastic bags, and other debris. Access to interior of the two (2) residential houses was not granted during the site visit. A basement structure at the eastern end of the commercial structure was flooded. Rotting wooden steps leading to the basement were unsafe to allow access.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

### 7. INTERVIEWS

#### 7.1 Interview With Owner and/or Property Manager and/or Occupants

Pape-Dawson was escorted by Mr. Paul Jimenez, Special Projects Manager for the Center City Development Office, during the site visit. Information provided by Mr. Jimenez is described in Section 4.3 *Owner, Property Manager, and Occupant Information*.

#### 7.2 Interview With Others

Ms. Evelyn Lopez, with the TCEQ San Antonio Office, was contacted in regards to environmental listings on or within the area of the subject site. Ms. Lopez reviewed her databases and found no environmental concerns associated with the subject site (Appendix 8).

Pape-Dawson contacted Ms. Robin Tremallo with the Edwards Aquifer Authority (EAA) to see if there are any known environmental concerns regarding the Edwards Aquifer in the area of the subject site. According to Ms. Tremallo, the EAA does not know of any environmental concerns in this area (Appendix 8).

The San Antonio River Authority (SARA) was contacted by Pape-Dawson to ascertain water quality information regarding the San Antonio River. Mr. Ronnie Hernandez stated SARA does not have any record in its database of environmental concerns regarding the subject site. However, there have been numerous water quality issues throughout the years associated with the San Antonio River and the river loop area (Appendix 8).

Pape-Dawson requested information from the City Public Service (CPS Energy) regarding the transformers in the surrounding area. Mr. Clayton Hahn sent Pape-Dawson a letter that is summarized in Section 6.3 *General Site Settings*.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

### 8. FINDINGS

The subject site was developed with a vacant commercial building and two (2) residential dwellings at the time of the site visit. Construction and demolition debris and trash debris were scattered throughout the commercial building. The debris included a lawn mower, furniture, cardboard boxes, sheet rock, plastic bags, and other debris. No hazardous materials were observed within the commercial structure.

San Antonio Fire Station #3, located across Commerce Street from the subject site at 1425 East Commerce Street, was identified in the regulatory database report as containing petroleum storage tanks. This facility had two (2) releases from underground storage tanks that impacted soils in February 1986 and January 1992.

Model Dyers and Cleaners was listed at 1010 East Commerce Street in the 1922-23 city directories. This potential dry cleaner facility was located east and up grade of the subject site.

West's Auto Repair Shop and H W Kreger Auto Repair were listed at 927 East Commerce Street in the 1922-23 and 1929-30 city directories. This address was mapped north of the subject site and adjacent to East Commerce Street.

Manuel's Paint and Body Shop is located east of the subject site along South Hackberry Street. This facility was identified as an automotive repair and body shop in the city directories from at least 1951 and up until the date of the site visit. An auto repair shop and welding facility was identified at this location in the 1951, 1952, and 1971 *Sanborn* Maps.

Commerce Quick Stop, located at 1502 East Commerce Street, was identified as a service station in the city directories review from at least 1929-30 to 1957. This facility was also

## STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO) Phase I Environmental Site Assessment

listed as a filling station containing petroleum storage tanks in the 1951, 1952, and 1971 *Sanborn* Maps.

Midway Cleaners, located at 1503 East Commerce Street, was identified in the regulatory database report as a dry cleaners facility. This dry cleaner was also listed in the city directories from at least 1936-37 to 2002 and in the 1951, 1952, and 1971 *Sanborn* Maps.

Imperial Loan and Jewelry Company, located at 1431 East Commerce Street, was identified as a service station in the city directories review from at least 1922-23 to 1973. This property was also identified as a filling station with petroleum storage tanks in the 1951, 1952, 1969, and 1971 *Sanborn* Maps.

### 9. OPINION

Due to the close upgrade location of the Midway Cleaners and Model Dyers and Cleaners facilities, Stoddard and chlorinated solvents may have adversely impacted the soils and/or groundwater within the site boundary. Therefore, Midway Cleaners and Model Dyers and Cleaners are considered recognized environmental conditions (RECs) for the subject site.

Petroleum hydrocarbons may have adversely impacted the soils and/or groundwater within the site boundary from the historic service stations, auto repair shops, and fire station located to the north and east of the subject site. Therefore, the San Antonio Fire Station, Imperial Loan and Jewelry Company, Commerce Quick Stop, Manuel Paint & Body Shop, and West's Auto Repair Shop/HW Kreger Repair were identified as RECs for the subject site.

Should future development involve processes such as pier drilling or deep excavation within the subject site, then a Phase II Environmental Assessment should be conducted prior to those activities.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

Although the construction and demolition debris and trash debris are not considered a recognized environmental condition as defined by ASTM 1527-05, the debris should be removed from the subject site and recycled or disposed at an appropriate landfill facility.

### 10. CONCLUSIONS

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-05 of Sterling Property (1434 E. Commerce and 323 Idaho), the subject site. Any exceptions to, or deletions from, this practice are described in Section 2 of this report. This assessment has revealed seven (7) Recognized Environmental Conditions (RECs) in connection with the property.

- Midway Cleaners, a dry cleaning facility listed at 1503 East Commerce Street.
- Imperial Loan & Jewelry Company, located at 1431 East Commerce Street, is a historic service station identified in the city directories and *Sanborn* Maps.
- San Antonio Fire Station, located at 1425 East Commerce Street, was identified in the regulatory database report with two (2) past releases from petroleum storage tanks.
- Commerce Quick Stop, located at 1502 East Commerce Street, was identified as a service station in the city directories and *Sanborn* Maps.
- Manuel's Paint & Body Shop, located at 106 South Hackberry Street, was identified as an automotive repair shop in the city directories, *Sanborn* Maps, and during the site visit.
- Model Dyers and Cleaners, located east of the subject site and south of East Commerce Street, was identified as a dry cleaner in the city directories.
- West's Auto Repair Shop and H W Kreger Repair, located north of the subject site, was identified as an automotive repair shop in the city directories review.

Results of surveys for asbestos containing materials and lead-based paint will be provided in a separate report prepared by Aleo Environmental Enterprises, Inc. The commercial structure was evaluated. Access to the residential structures was not available.

# STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)

## Phase I Environmental Site Assessment

### 11. SPECIAL TERMS AND CONDITIONS

In those instances where additional services or service enhancements are included in the report as requested or authorized by CoSA, those services are presented in the scope of work. There are no special terms and conditions.

### 12. USER RELIANCE

This report is prepared for the exclusive use of CoSA. The scope of services performed during this investigation may not be appropriate for other users and such use or reuse of this report to unauthorized, unless the prior written approval of Pape-Dawson Engineers, Inc. has been obtained.

### 13. DEVIATIONS

There were no significant deviations to the ASTM 1527-05 Environmental Site Assessment, Phase I Environmental Site Assessment Process and 40 CFR Part 312; Standards and Practices for All Appropriate Inquiries.

### 14. ADDITIONAL SERVICES

This Phase I ESA did not include any inquiry with respect to radon, methane, lead in drinking water, formaldehyde, jurisdictional waters, regulatory compliance, archeological resources, industrial hygiene, health and safety, ecological resources, wildlife sanctuaries, indoor air quality, high voltage power lines, biological agents, mold, sinkholes, caves or other karst or geologic features, narcotics, cemeteries, subsurface investigation activities or other services or potential conditions or features not specifically identified and discussed herein. Review of a title report was not included in the scope of this project.

### 15. REFERENCES

1. San Antonio Water System, Water Well Listings, Revised 2007, Bexar County, San Antonio, Texas.

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**

2. United States Geologic Survey, 1992, (USGS), San Antonio East Quadrangle, USGS, Denver, Colorado.
3. United States Department of Agriculture, 1991, Soil Survey - Bexar County, Texas, USDA.
4. Barnes, V.L., 1983, Geologic Atlas of Texas, San Antonio Sheet, Bureau of Economic Geology, The University of Texas at Austin, Texas.
5. Texas Department of Health and Southwest Texas State University, June 1994, Final Report of Texas Indoor Radon Survey.
6. Federal Emergency Management Agency (FEMA), September 29, 2010, Bexar County, Texas and Incorporated Areas, Flood Insurance Rate Map (FIRM), Panel 48029C0415G FEMA, Washington, D.C.
7. Texas Water Development Board, TWDB News, Wells in TWDB Groundwater Database, [http://www.twdb.state.tx.us/ims/wwm\\_drl/viewer.htm?](http://www.twdb.state.tx.us/ims/wwm_drl/viewer.htm?), 2/7/2013.
9. Alamo Area Council of Governments, Closed Landfill Inventory 2/7/2013, <http://www.aacog.dst.tx.us/>
10. Tax information obtained from the Bexar County Appraisal District found at [www.bcad.org](http://www.bcad.org).
11. Public GIS Map Viewer for Oil, Gas, and Pipelines from the Railroad Commission of Texas at [www.rrc.state.tx.us/data/online.gis.index.php#](http://www.rrc.state.tx.us/data/online.gis.index.php#).
12. Historical topographic map of San Antonio East, Texas, 7.5-minute topographic quadrangle maps dated 1953 and 1992 and printed at a scale of 1:24,000 by the United States Geologic Survey (USGS).

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**

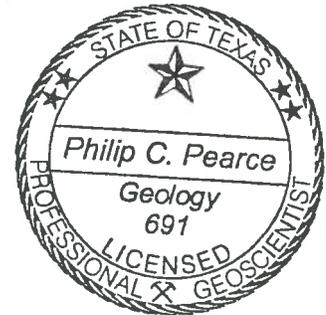
16. SIGNATURE OF ENVIRONMENTAL PROFESSIONAL

We declare to the best of our professional knowledge and belief; we meet the definition of Environmental Professional as defined in §312.10 of 40 CFR 312; we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property; and we have developed and performed the appropriate inquiries in general conformance with the standards and practices set forth in 40 CFR Part 312.

Cara C. Tackett, P.E.  
Vice President

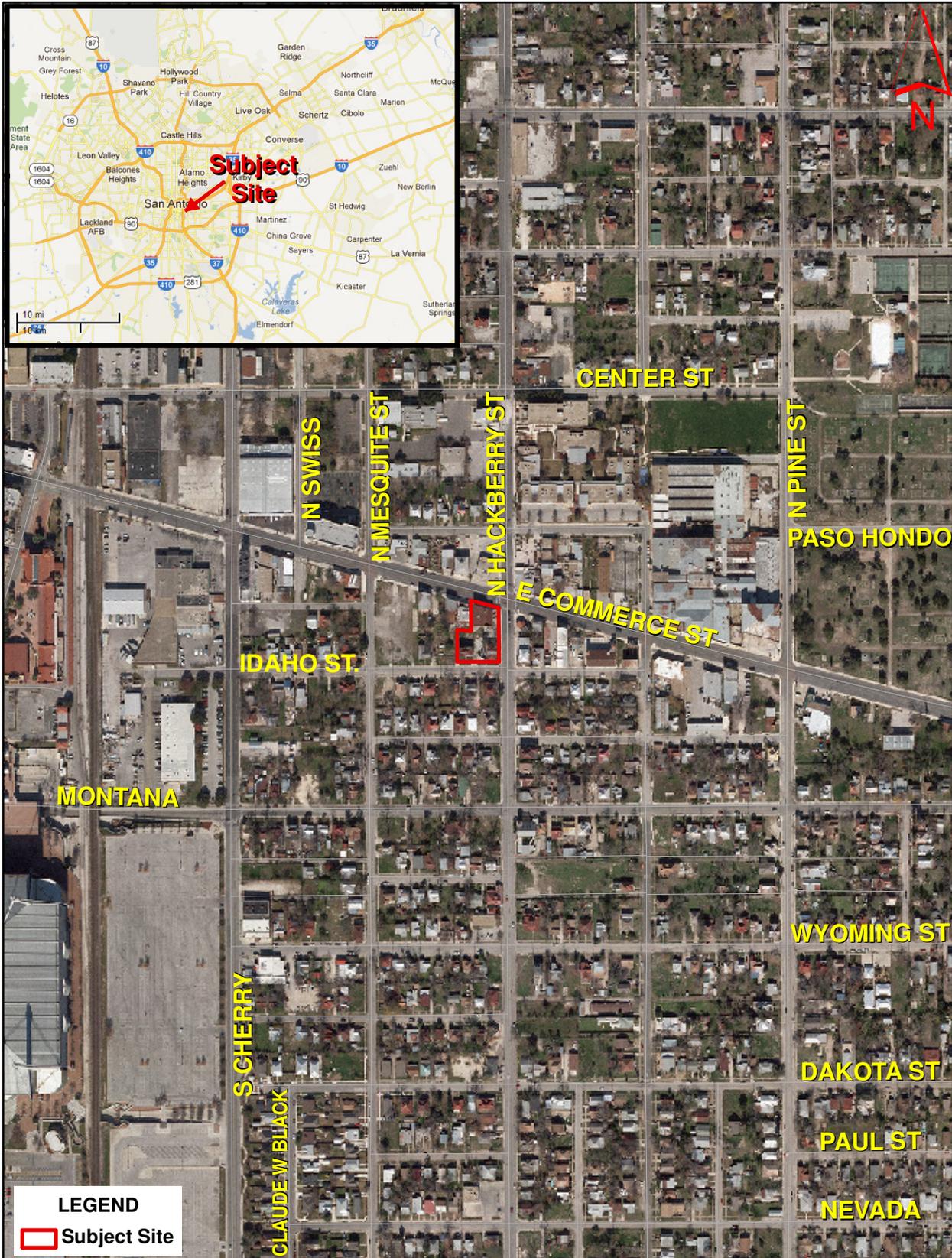


Philip C. Pearce, P.G.  
Geologist/Project Manager



**APPENDIX 1**  
**Exhibit 1 - Site Location Map**

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**



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EXHIBIT 1

SITE LOCATION MAP 2012 AERIAL PHOTOGRAPH  
 SCALE: 1"= 500'



**APPENDIX 2**  
**Exhibit 2 - Site Topographic Map**

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**



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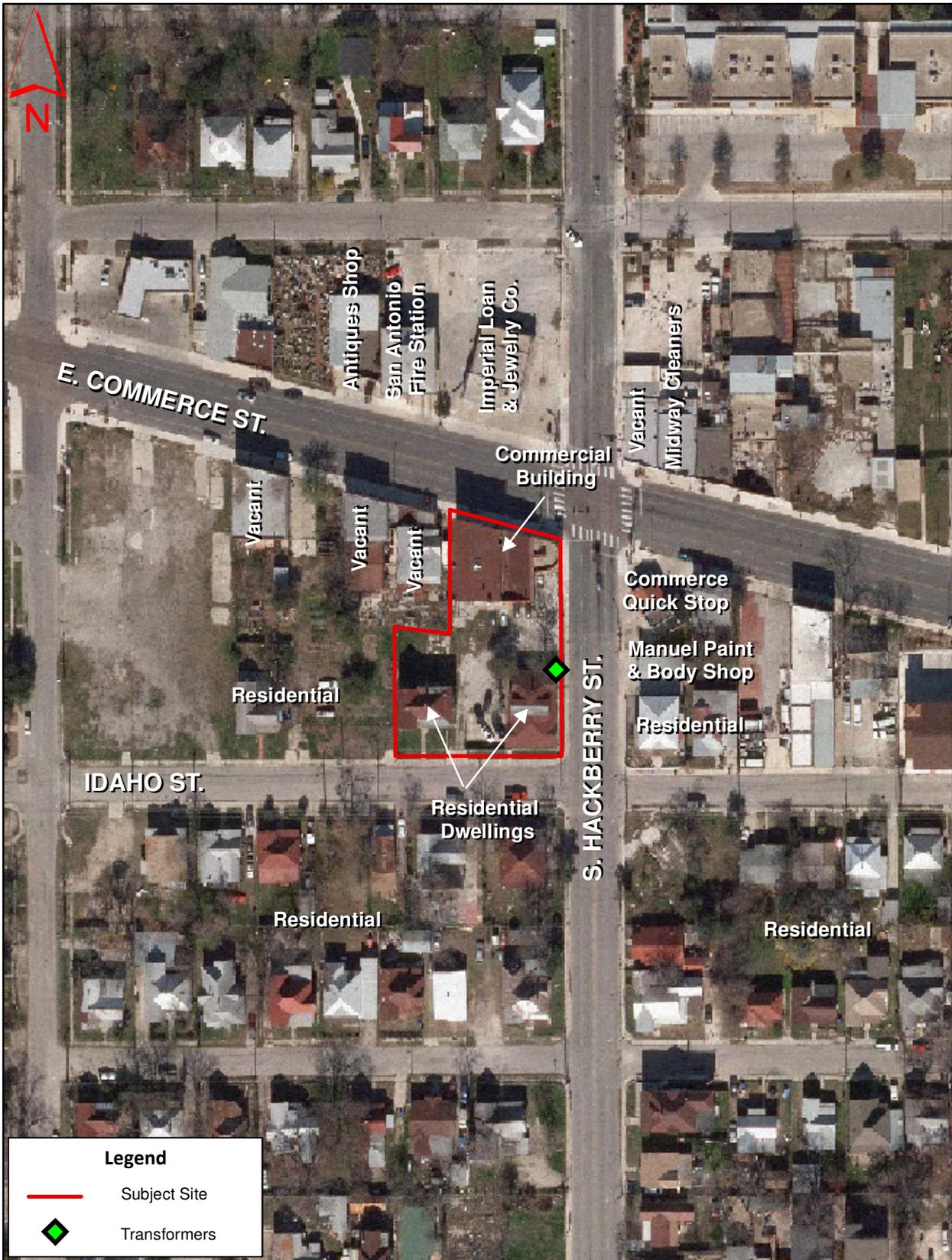
EXHIBIT 2

2010 TOPOGRAPHIC MAP- 2012 AERIAL  
SCALE: 1"= 250'



**APPENDIX 3**  
**Exhibit 3 - Site Plan**

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)**  
**Phase I Environmental Site Assessment**



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 File: P:\7676999\Environ\SitePlan Map.mxd

EXHIBIT 3

SITE PLAN - 2012 AERIAL  
 SCALE: 1"= 175'



**APPENDIX 4**  
**Exhibit 4 - Findings Map**

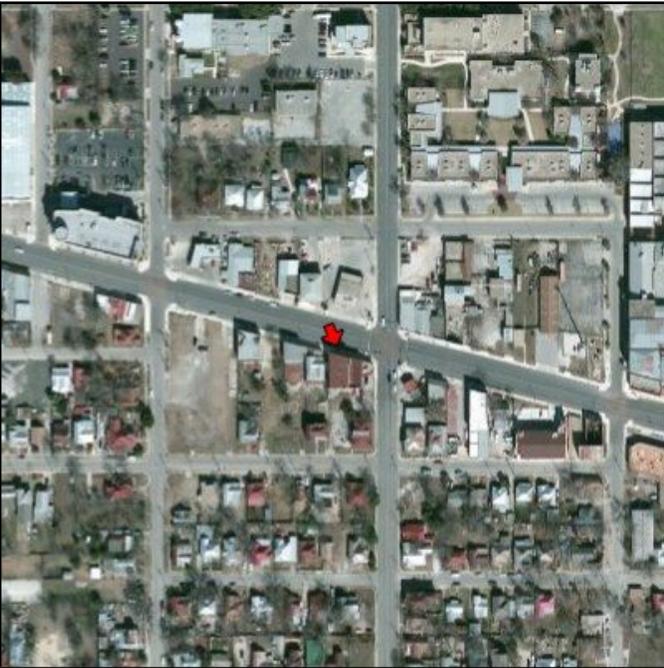


# **APPENDIX 5**

## **Site Photographs**

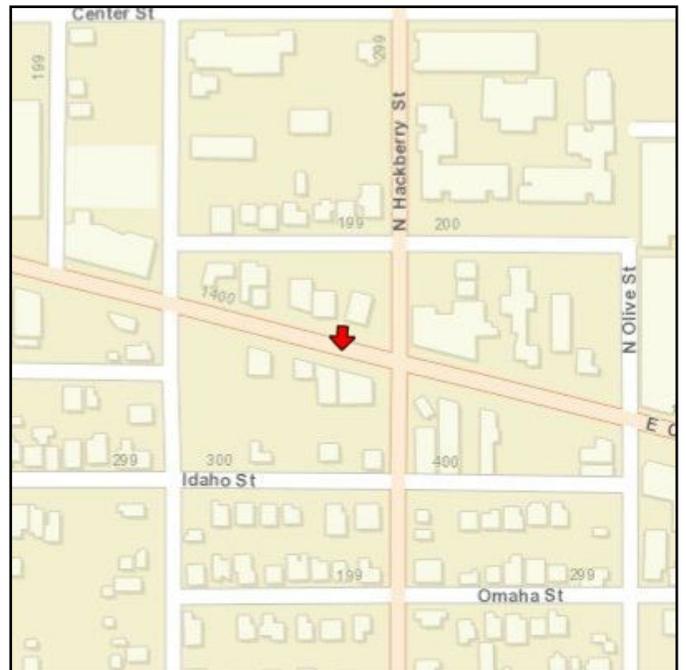
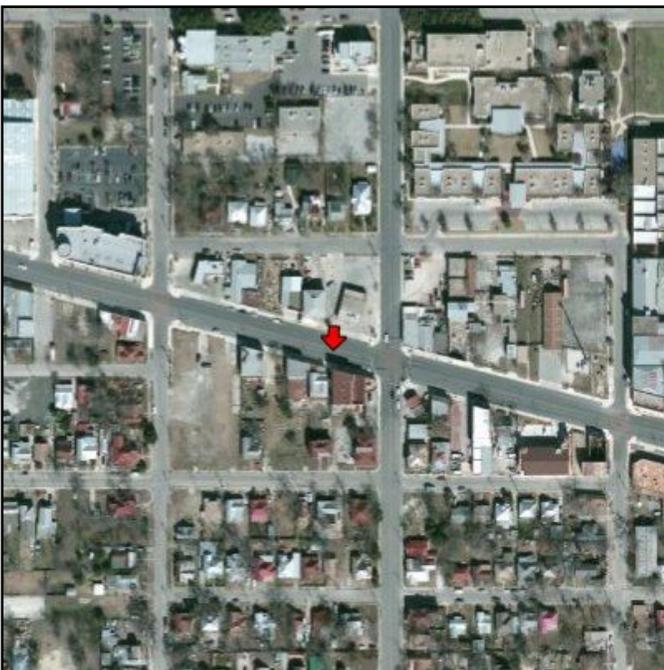
**Photograph 1**

Photo view is facing south-southeast towards the commercial structure located on the subject site.



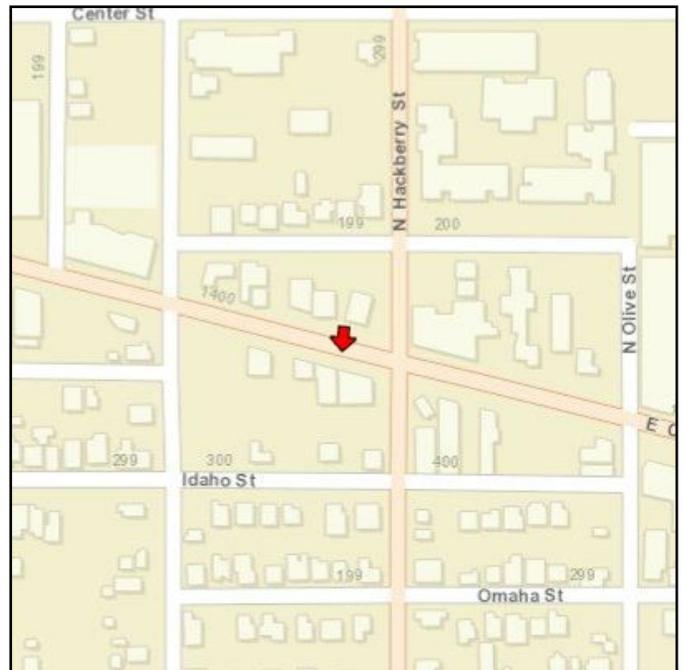
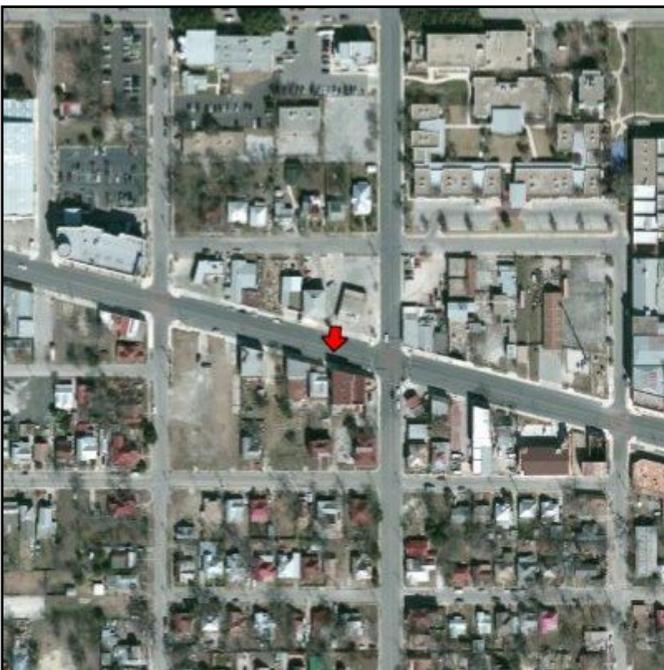
## Photograph 2

Photo view illustrates the interior of the commercial structure.



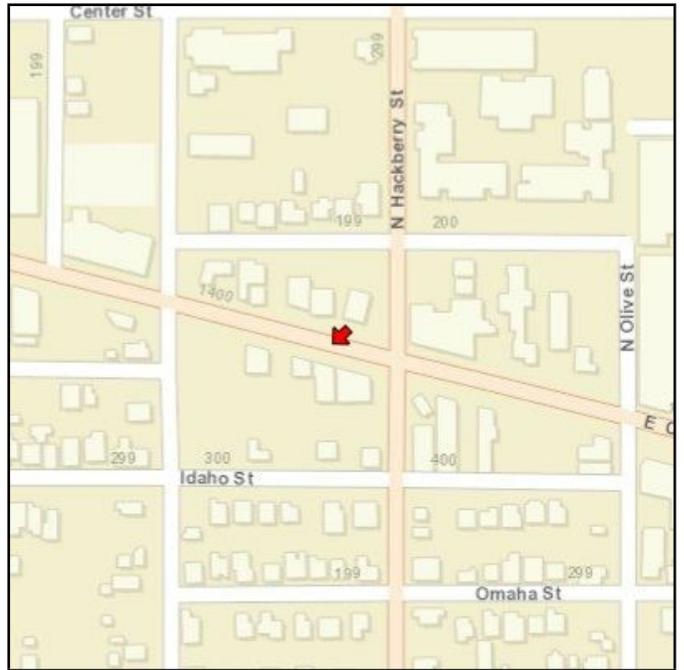
### Photograph 3

Photo view illustrates the interior of the commercial structure.



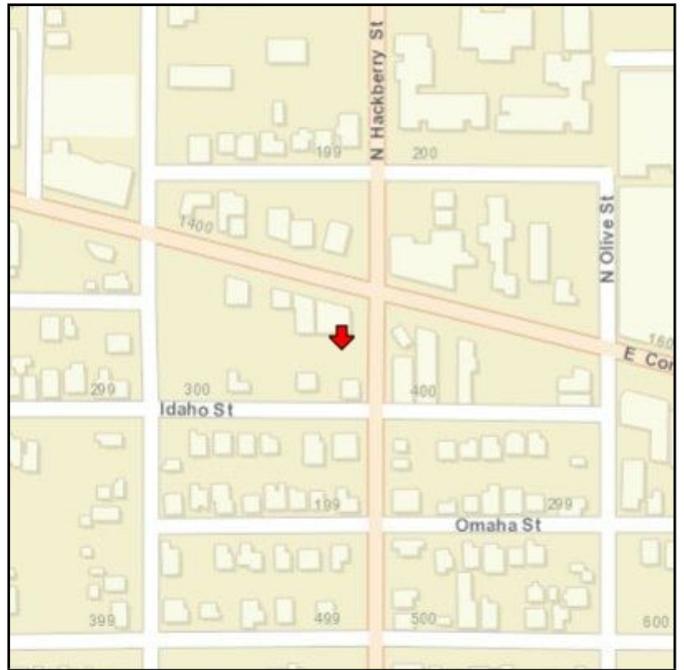
**Photograph 4**

Photo view illustrates the exterior of the commercial structure along East Commerce Street.



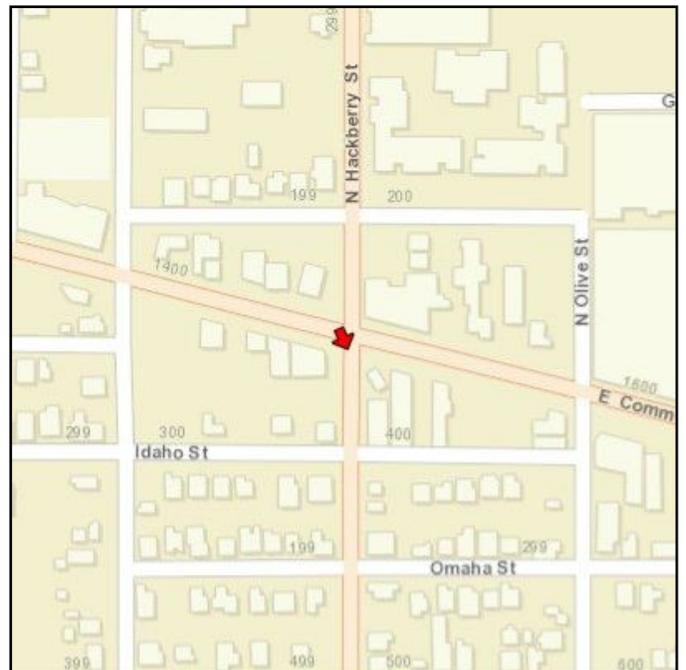
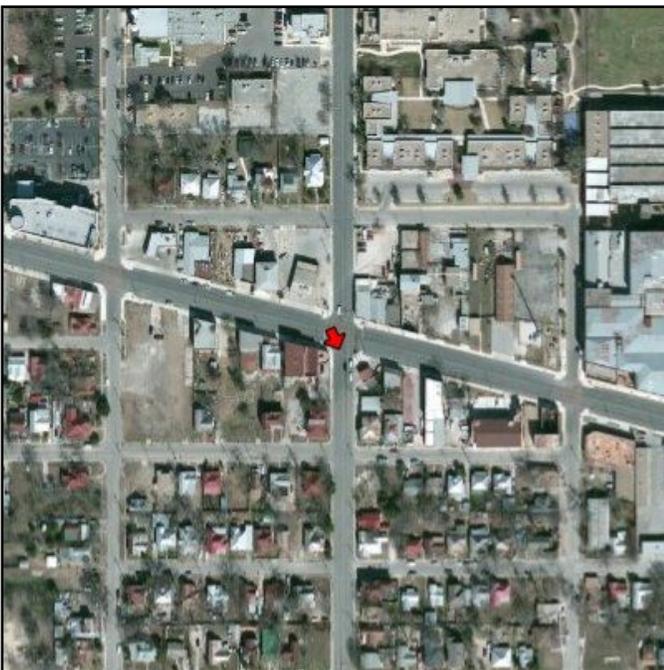
**Photograph 5**

Photo view is facing south across the subject site towards a residence located on site.



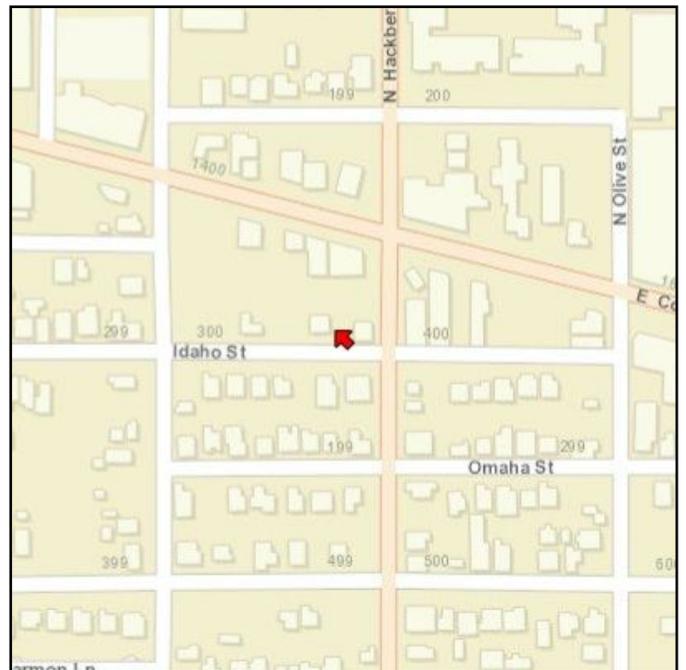
**Photograph 6**

Photo view illustrates the Commerce Quick Stop and Manuel Paint & Body Shop facility.



**Photograph 7**

Photo view illustrates a residential structure located on the subject site.



**APPENDIX 6**  
**Historical Research**  
**Documentation**

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**

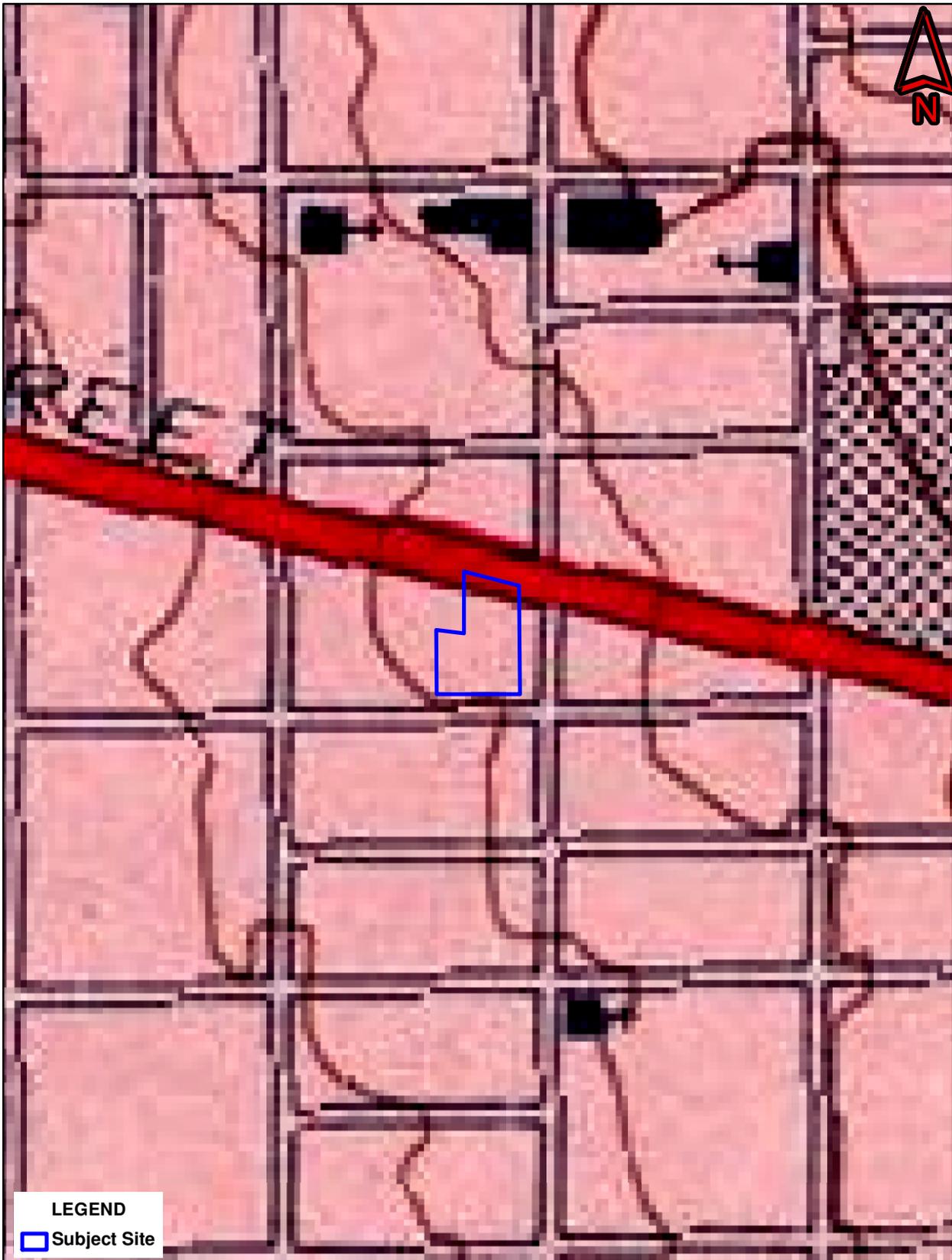


EXHIBIT 5

1953 SAN ANTONIO EAST, TEXAS, US GEOLOGICAL SURVEY TOPOGRAPHIC MAP  
SCALE: 1"= 250'

STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment

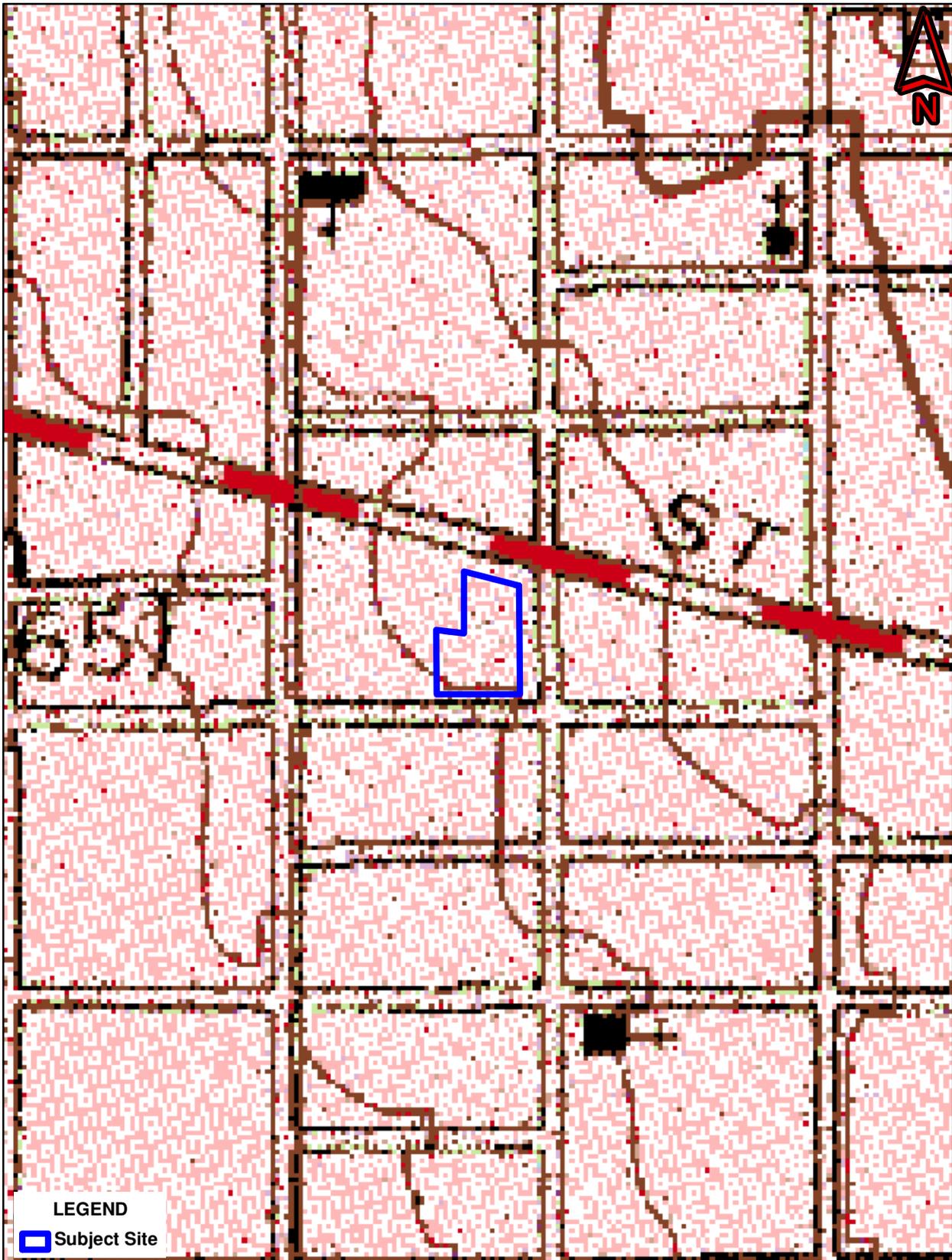


EXHIBIT 6

1992 US GEOLOGICAL SURVEY TOPOGRAPHIC MAP  
SCALE: 1"= 250'

STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment



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EXHIBIT 7

1938 AERIAL PHOTOGRAPH  
SCALE: 1"= 175'

STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment



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EXHIBIT 8

1959 AERIAL PHOTOGRAPH  
SCALE: 1"= 175'

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**



EXHIBIT 9

1966 AERIAL PHOTOGRAPH  
SCALE: 1"= 175'

**STERLING PROPERTY (1434 E. COMMERCE AND 323 IDAHO)  
Phase I Environmental Site Assessment**



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EXHIBIT 10

1977 AERIAL PHOTOGRAPH  
SCALE: 1"= 175'

