

**LA VILLITA RFP – EXHIBIT 11**  
**CATEGORY C – RETAIL SHOPS**  
**BUILDING INFORMATION**

BLD #	TOTAL Sq Ft	*Rec Rate	Monthly Rent based on Recom	**Annual Rent based on Recom
3	559	\$1.25	\$698.75	\$8,035.63
10	1441	\$1.25	\$1,801.25	\$20,714.38
15	1274	\$1.25	\$1,592.50	\$18,313.75
16	833	\$1.25	\$1,041.25	\$11,974.38
17	326	\$1.25	\$407.50	\$4,686.25

\*recommended rates are minimum to be accepted in RFP Proposals

\*\*annual rents calculated at 11.5 months

future rental rates will be increased, percentage increases to be determined



**BUILDING 3**

559 sq ft  
Use: Retail

**Hessler House, c. 1870**

Typical of 1870s construction, this house was built by Ernest Hessler. The construction is caliche-block with a gabled roof of standing seam metal.

**GENERAL ASSESSMENT RATING: 3-Fair**

**EXTERIOR FEATURES**

**Walls.** Masonry walls in good structural condition but plaster in poor condition. Plaster at south wall is mainly not adhered to masonry.

**Porch.** The front porch is limestone with brick paving; limestone is deteriorating and some of the paving is losing its mortar. Porch floor requires significant masonry repairs; otherwise, a wooden porch similar to the one at Building 7 should be built to replicate this building's original porch. Columns and railing in good condition.

**Roof.** Metal roof in fair condition. Repaint.

**Windows and doors.** Wooden windows and doors in fair condition but require repairs.

**INTERIOR FEATURES**

**Floors.** Combination of painted concrete, painted wood, and clay tile. Good condition.

**Ceilings.** Painted beaded boards. Some peeling of paint indicating possible roof leak, condensation problem, or heat-related issue.

**Walls.** Walls have been replastered with what appears to be an appropriate lime-based plaster. Moisture is causing some flaking in at least two spots. General appearance is good.



**COMMENTS.** House contains handsome original fireplace and wooden mantle. Good external condition.

**MECHANICAL, ELECTRICAL, AND PLUMBING REPORT**

**Air-conditioning and heating.** Tenant perceives cooling capacity of 1980s chilled water cooling/electric heating fan-coil to be inadequate and reports many recent problems. System does not bring in outside air. External appearance of fiberglass ductwork appears to be in good condition.

**Plumbing.** Cold-water-only sink appears to be in good condition. No leaks reported.

**Electrical.** One of two panel boards mounted in exterior closet does not have adequate front working clearance. Panel boards appear to be modern and in good working order.



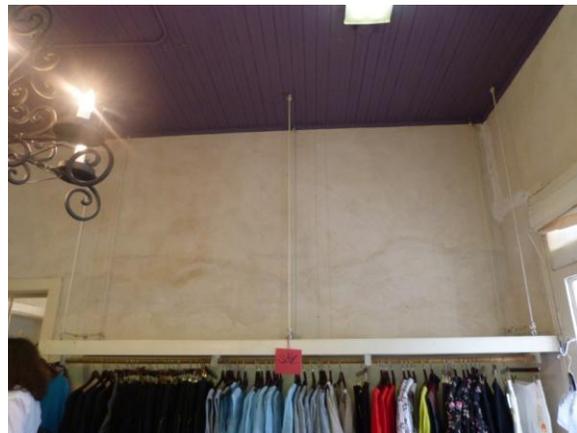
Building 3-Wood ceiling/Masonry



Building 3-Wall pipe/Ceiling



Building 3-Ceiling-hung display



Building 3-Wall moisture and staining



Building 3-Cooling unit



Building 3-Wood ceiling



**BUILDING 10**

1,441 sq ft  
Use: Retail

**St. Philips College Homes A, c. 1898**

The college was begun in an adobe house just north of this building in 1898 but the existing brick buildings date to the 1900s. The City of San Antonio acquired the group of buildings in 1945.

**GENERAL ASSESSMENT RATING: 4-Good**

**EXTERIOR FEATURES**

**Walls.** Brick walls repointed in 1982. In good condition, but an area on the west wall needs repointing. Brick is being repointed. Two-story wooden porch in good condition; decking requires repairs at first level and replacement at second level. Several columns need repairs or replacement. Deteriorated wood siding has been replaced.

**Roof.** In good condition.

**Windows and doors.** Wooden window frames and sash need general repairs and repainting. Three windows and door in stairwell should be replaced. Windows into basement have been repaired.

**INTERIOR FEATURES**

**Floors.** Pine boards in good condition but need to be revarnished or covered for preservation.

**Ceilings.** Painted gypsum board in good condition.

**Walls.** Painted plaster, painted gypsum board, painted brick, and painted siding in good condition.

**COMMENTS.** Rear doors have water damage. Doors need to be properly sealed, glazed, and painted or replaced. Oleanders should be removed from the planting bed along King Philip V Street and replaced with paving on a sand base to prevent further damage to masonry walls.

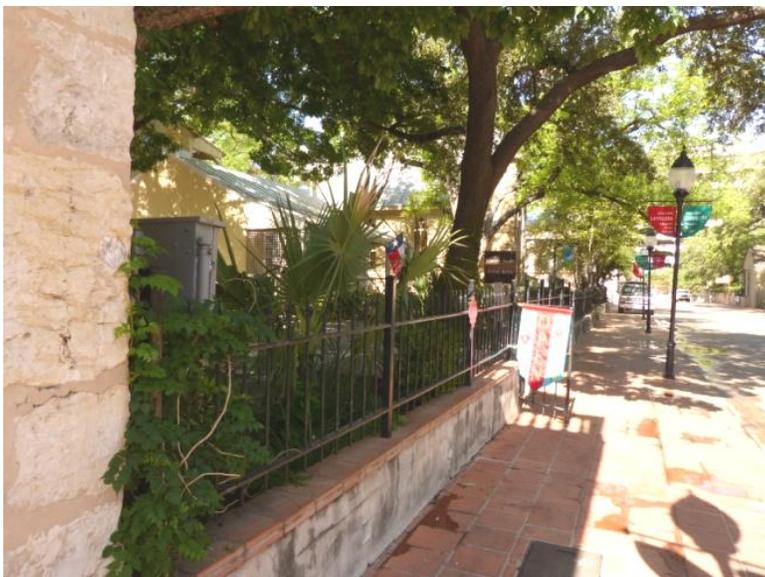
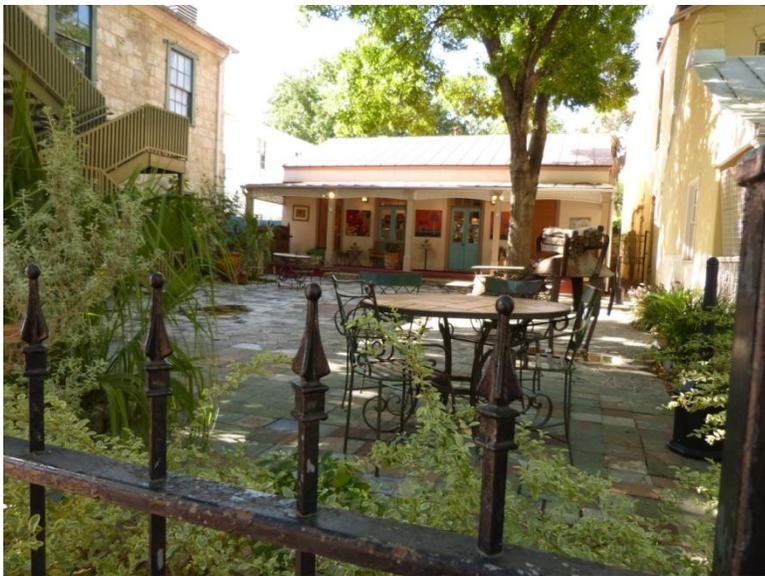


## MECHANICAL, ELECTRICAL, AND PLUMBING REPORT

**Air-conditioning and heating.** Single five-ton chilled water cooling/electric heating fan-coil installed in 2006 would not adequately cool and heat this two-story space if not for a window unit installed in one of the upstairs rooms. The upstairs restroom does not have an exhaust fan.

**Plumbing.** Tank toilet and cold-water-only sink in a private restroom intended for tenants' use only. The toilet does not adequately flush toilet paper without regularly clogging. The cold water sink faucet drips.

**Electrical.** Several disconnects do not appear to have adequate clearance. First-level panel board appears modern and in good working order. Panel board on second level appears to be in working order but is an older model. It may become increasingly difficult to acquire new circuit breaker replacements.



**BUILDING 15**

1,274 sq ft

Use: Retail

**Faville House c. 1855**

Franklin D. Faville constructed this house in about 1855. Typical of many mid-nineteenth-century homes in San Antonio, a gable runs parallel to the front of the house.

**GENERAL ASSESSMENT RATING: 3-Fair**

**EXTERIOR FEATURES**

**Walls.** Plastered masonry walls are in fair condition with a few cracks and some loose plaster. Plaster repairs being made.

**Porch.** Front porch in fair condition but needs careful rehabilitation to replace deteriorated elements, especially at the columns.

**Roof.** Metal roof appears to be in good condition

**Windows and doors.** Wooden window frames and sash need extensive repairs/replication. Work is ongoing.

**INTERIOR FEATURES**

Historic interior features are hidden by tenant finishes and merchandise.

**Floors.** Completely carpeted, condition unknown.

**Ceilings.** Combination painted plaster, gypsum wallboard, and dropped lay-in acoustic tiles. Visible water damage at bathroom dropped ceiling, possibly from roof leak.

**Walls.** Combination plastered masonry, painted beaded board, and wallpaper. Plaster in storage room is flaking and cracking and will need replacement.

**COMMENTS**

Building includes a large front courtyard that could be better utilized; needs to be redesigned to solve problems of accessibility, drainage and economic function. Steeply sloping ramp at courtyard entrance does not comply with codes and could be dangerous when wet.

- Inappropriate exterior window coverings. Inappropriate exterior porch/merchandise lighting.
- Building is not accessible.
- Rear addition is not historically significant; windows in this area may be allowed to be closed up with masonry rather than repaired or replicated.
- Exterior areas behind building are not kept clean. Ground surfaces need to be sloped to drain and properly repaved in an appropriate material. Volunteer tree should be removed.

#### **MECHANICAL, ELECTRICAL, AND PLUMBING REPORT**

**Air-conditioning and heating.** Building is served by a five-ton residential gas furnace with duct-mounted chilled water coil, both located in the attic accessible through the storeroom. Presence of supplementary wall air-conditioning unit in a back room and conversation with tenant indicates capacity of the chilled water cooling/electric heating system in attic is insufficient. Front room temperature said to sometimes reach 95°F. Restroom exhaust fan does not work. A sign on the fan “on-off” switch indicates it nearly started a fire when it was once operated.

**Plumbing.** Toilet and cold-water-only sink in this private restroom are adequate.

**Electrical.** Exit signage did not appear to have means of illumination during power outage. Panel board appears to be in working order but is an older model and it may be increasingly difficult to acquire new circuit breaker replacements.



## Building 16 McAllister House and Store

833 Sq ft

Use: Retail

The land was bought by Samuel W. McAllister in 1854 and was incorporated into La Villita in 1949. The store may have been built in two stages as the first story is of limestone and second story of caliche block.

**GENERAL ASSESSMENT RATING: 1- Crisis**

### EXTERIOR FEATURES

**Walls.** Limestone and caliche block walls are in good condition with a few cracks. They were completely repointed in 1982. Miscellaneous repointing required. Stone has been stabilized

**Roof.** Metal roof was not accessible for inspection, but gutter at west wall indicates that there may be leaks as the soffit is deteriorated. Repairs are ongoing. Gutter on south side repaired.

**Porch.** Balconies and porches in good repair. Balcony is being restored.

**Windows and doors.** Wooden window frames and sash need to be rehabilitated and some need to be replicated. Rear doors and windows are in poor condition and need to be replicated. Ten windows and door in process of restoration:



mortar is being repointed.

### INTERIOR FEATURES

This ground-floor lease space is not ADA accessible because of the raised floor at the entrance. The steps directly at the threshold could be a dangerous feature; current codes require a level landing at each side of a door.

**Floors.** Painted wood and carpet over unknown substrate in good condition.

**Walls.** Plaster, exposed limestone and gypsum board in fair condition.

**Ceilings.** Knee bracing of the second floor, plus basement work including new columns, beams and joists as well as concrete footings.



Tenant has inappropriately covered mantle with merchandise and displays.

Windows are in poor condition and need to be replaced or rehabilitated.

#### **MECHANICAL, ELECTRICAL, AND PLUMBING REPORT**

**Air-conditioning and heating.** Space served by single chilled water cooling/electric heating fan-coil that is said by tenant to be sufficient. The system brings in no outside air.

**Plumbing:** Toilet and cold-water-only sink in back room. Tenant says corner sink doubles as a receptor for primary condensation from air-conditioning unit.

**Electrical.** Interior panel board is modern and in good working order but does not have adequate front working clearance.



**BUILDING 17**

326 sq ft

Use: Retail

**Not Named, c. 1950**

**GENERAL ASSESSMENT RATING: 3-Fair**

**EXTERIOR FEATURES**

**Walls.** Walls are in good condition.

**Roof.** Metal roof appears to be in good condition.

**Windows and doors.** Wooden window frames and sash in good condition.

**INTERIOR FEATURES**

**Floors.** Finished concrete floor, partially covered with rugs. Appears to be in good condition.

**Ceilings.** Gypsum board ceilings, minor cracking, but in good condition.

**Walls.** Painted gypsum wallboard in satisfactory condition.

**COMMENTS:** Building not accessible because of raised floor level at retail level.

**MECHANICAL, ELECTRICAL, AND PLUMBING REPORT**

**Air-conditioning and heating.** A 1980s chilled water heating/electric heating fan-coil unit services the building. Tenant says cooling and heating capacity is adequate. However, condensation appears to have very badly damaged the wood platform/plenum the unit sits on. The chilled water coil has clogged in the past and hose bibs are installed in the lines to flush them. Hose bibs sometimes leak and ductwork in the room needs repair.

**Plumbing.** The private restroom has a toilet and cold-water-only sink. The sink is said to leak at times and should be replaced. Sometimes the toilet leaks at the wax ring when floor bolts come loose.

**Electrical.** Panel board appears to be modern and in good working order but front access is blocked by built-in cabinets.

