



ADDENDUM NO. 1

PROJECT NAME: **HARDBERGER PARK PHASE V TRAILS**

DATE: 7/14/2015

ADDENDUM NO.1

This addendum should be included in and be considered part of the plans and specifications for the name of the project. The contractor shall be required to sign an acknowledgement of the receipt of this addendum and submit with their bid.

TCI PROJECT NO.: **23-01451**

CLARIFICATIONS

ITEM NO. 1: QUESTION
Will Maldonado Nursery & Landscaping, Inc. count towards the eight percent (8%) M/WBE subcontracting goal for this project?

ANSWER

No. Maldonado Nursery & Landscaping, Inc. will not count. To be counted as an M/WBE, a Prime or Subcontractor **MUST** also be certified as SBE. Maldonado Nursery & Landscaping, Inc. is **NOT** certified as SBE. Therefore, Maldonado Nursery & Landscaping, Inc. **WILL NOT** count toward the eight percent (8%) M/WBE subcontracting goal for this project.

ITEM NO. 2: CITY OF SAN ANTONIO 025 UNIT PRICING FORM
A. Line Items 2, 3, 4, 5, and 11 added to the form.

CHANGES TO THE DRAWINGS

ITEM NO. 3: SHEET LC1.00, COVER
A. Sheets LC1.04, LC1.05, and LC1.06 added to the Sheet Index.
B. Sheet LH3.04 removed from Sheet Index.

ITEM NO. 4: SHEET LC1.01, LEGEND AND GENERAL NOTES
A. Contractor's Responsibilities – note #31 added.
B. Contractor's Responsibilities – note #32 added.

ITEM NO. 5: SHEET LC1.02, MATERIALS SCHEDULE
A. Seed mix information added to the "Planting" category in the "Site Materials Schedule".

- ITEM NO. 6: SHEET LC1.04, STORM WATER POLLUTION PREVENTION PLAN
A. New sheet.
- ITEM NO. 7: SHEET LC1.05, STORM WATER POLLUTION PREVENTION PLAN
DETAILS
A. New sheet.
- ITEM NO. 8: SHEET LC1.06, CONSTRUCTION STAGING AND ACCESS PLAN
A. New sheet.
- ITEM NO. 9: SHEET LH1.04, HARDSCAPE AND GRADING PLAN
A. Note added showing approximate limits of native seed mix around sign.
B. Note added to relocate existing P&R Rules sign
- ITEM NO. 9: SHEET LH3.02, HARDSCAPE DETAILS
A. Sheet reviewed and sealed by a Structural Engineer to provide clarification
for items, reinforcing steel.
- ITEM NO. 10: SHEET LH3.03, HARDSCAPE DETAILS
A. Detail 1 – weathering steel clarification provided.
B. Detail 2 – approximate limits of seed mix added to detail.
C. Detail 4 – Construction Project Sign added.



Note: Addenda Acknowledgement Form for Addendum 1 is attached herein. This form must be signed and submitted with the bid package.

RECEIPT OF ADDENDUM NUMBER(S) **1** IS HEREBY ACKNOWLEDGED FOR PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF **HARDBERGER PARK PHASE V TRAILS – 23-01451** FOR WHICH BIDS WILL BE OPENED ON **TUESDAY, JULY 21, 2015 AT 2:00 P.M.**

THIS ACKNOWLEDGEMENT MUST BE SIGNED AND RETURNED WITH THE BID PACKAGE.

Company Name: _____

Address: _____

City/State/Zip Code: _____

Date: _____

Signature

Print Name/Title

CITY OF SAN ANTONIO
025 UNIT PRICING FORM

PROJECT NAME: **Hardberger Park Phase V Trails**
PROJECT NO. 23-01451

ITEM NO.	BID ITEM DESCRIPTION	UNIT OF MEASURE	UNIT BID PRICE
	The City only will accept bid pricing to the hundredths. Any pricing extended out to three decimal points will be truncated to two decimal points in the City's favor.		
1	General Conditions	Lump Sum	
2	Construction Entrance (Ref. Details LC1.06)	Square Feet	
3	Construction Project Sign (Ref. Detail 4/ LH3.03)	Each	
4	Silt Fence (Ref. Detail LC1.05)	Linear Foot	
5	Rock Berm (Ref. Detail LC1.05)	Linear Foot	
6	Site Clearing and Grubbing	Lump Sum	
7	Tree Protection (Ref. Detail 7/ LH3.01)	Linear Feet	
8	Tree Pruning (Ref. Detail 8/ LH3.01)	Lump Sum	
9	Rough Grading	CY	
10	Trail Excavation	CY	
11	Excavation Hauling and Spreading	CY	
12	Decomposed Granite with Stabilizer Solution (Ref. Detail 1/LH 3.01)	Square Feet	
13	Compacted Base 6" Depth for Decomposed Granite Trail (Ref. Detail 1/LH3.01)	Square Feet	
14	Stalok Paving Material (Ref. Detail 2/LH3.01)	Square Feet	
15	Compacted Base 6" Depth for StaLok Paving (Ref. Detail 2/LH3.01)	Square Feet	
16	Concrete Waterbar @ Trail (Ref. Detail 4/LH3.01)	Linear Foot	
17	Compacted Flexible Base 8" Depth for Concrete Waterbar (Ref. Detail 4/LH3.01)	Square Feet	
18	Limestone Blocks (Ref. Detail 3/LH3.03)	Each	
19	Trail Directional Signage; Include post and signage (Ref. Detail 6/LH3.01)	Each	
20	Wood Boardwalk at Trail; Exclude Salvaged Steel Pipe, Concrete Threshold and Footings (Ref. Detail 1/LH3.02)	Linear Foot	
21	Salvaged Steel Pipe Curb Rail; Include Angle Bracket and Hardware (Ref. Detail 1/LH3.02)	Linear Foot	
22	Concrete Footings for Boardwalk (Ref. Detail 4/LH3.02)	Each	
23	Concrete Threshold for Boardwalk; Include Compacted Stone Base (Ref. Detail 5/LH3.02)	Each	
24	Seeding Construction Disturbed Areas with Native Grass Seed	Square Feet	
25	Entry Drive Sign; Include Steel Framing, Supports, Perf. Metal Panel, Solid Steel Panels (Ref. Detail 1/LH3.03)	Lump Sum	
26	Gabion Basket Wall with Rock Fill for Entry Sign (Ref. Detail 1/LH3.03)	Linear Foot	
27	Limestone Block Base for Entry Sign (Ref. Detail 1/LH3.03)	Linear Foot	
28	4" Height Stainless Steel Sign Letters (Ref. Detail 1/LH3.03)	Each	
29	2" Height Stainless Steel Sign Letters (Ref. Detail 1/LH3.03)	Each	

GENERAL NOTES: 1. ALL UNIT BID PRICES OF PAVEMENT AND WALLS TO INCLUDE COST OF SUB BASE. 2. FOR TREE PROTECTION AND ROCK EXCAVATION REFER TO 01270 UNIT PRICES IN THE SPECIFICATIONS.

PHIL HARDBERGER PARK - PHASE 5 TRAILS

8400 NW MILITARY HIGHWAY
SAN ANTONIO, TEXAS 78230

100% CONSTRUCTION DOCUMENTS
JUNE 3, 2015

SHEET INDEX

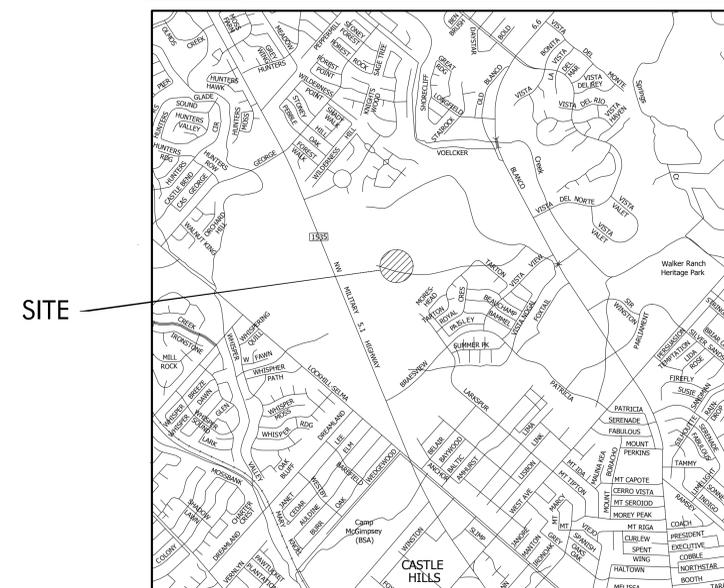
COVER

- LC1.00 COVER
- LC1.01 LEGEND AND GENERAL NOTES
- LC1.02 MATERIALS SCHEDULE
- LC1.03 OVERALL REFERENCE & PHASING PLAN
- LC1.04 STORMWATER POLLUTION PREVENTION PLAN
- LC1.05 STORMWATER POLLUTION PREVENTION DETAILS
- LC1.06 CONSTRUCTION STAGING AND ACCESS PLAN

HARDSCAPE

- LH1.01 HARDSCAPE AND GRADING PLAN
- LH1.02 HARDSCAPE AND GRADING PLAN
- LH1.03 HARDSCAPE AND GRADING PLAN
- LH1.04 HARDSCAPE AND GRADING PLAN
- LH2.01 LAYOUT PLAN
- LH2.02 LAYOUT PLAN
- LH2.03 LAYOUT PLAN
- LH2.04 LAYOUT PLAN
- LH3.01 HARDSCAPE DETAILS
- LH3.02 HARDSCAPE DETAILS
- LH3.03 HARDSCAPE DETAILS

LOCATION MAP



PROJECT INFORMATION

OWNER

CITY OF SAN ANTONIO
TRANSPORTATION &
CAPITAL IMPROVEMENTS (TCI)
114 WEST COMMERCE, 4TH FLOOR
SAN ANTONIO, TEXAS 78205
CONTACT: PAT SCHNEIDER

LANDSCAPE ARCHITECT

GARZA BURY, INC
221 WEST SIXTH STREET
SUITE 380
AUSTIN, TEXAS 78701
(512) 298-3284
CONTACT: ZACH HUNTER

LANDSCAPE ARCHITECT

BURY, INC
922 ISOM ROAD
SUITE 100
SAN ANTONIO, TEXAS
(210) 525-9090
CONTACT: DAVID BEYER

DESIGN CONSULTANT

STEPHEN STIMSON ASSOCIATES
288 NORFOLK STREET
CAMBRIDGE, MA 02139
(617) 876-8960
CONTACT: STEPHEN STIMSON

DOCUMENT ISSUE

DATE	DESCRIPTION
07/14/15	LC1.00, LC1.01, LC1.02, LC1.04, LC1.05, LC1.06, LH1.04, LH2.02, LH3.03

100% CONSTRUCTION DOCUMENTS

PHIL HARDBERGER PARK

8400 NW MILITARY HIGHWAY
SAN ANTONIO, TEXAS 78230

PROJECT NO.: 04100799-00008

SHEET
LC1.00

DATE

NO.

REVISION

APPROVAL

DRAWN BY: JM, KR

DESIGNED BY: DB, JM

QA/QC: DB, JM

PROJECT NO.: 04100799-00008



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CONTRACTOR'S RESPONSIBILITIES

- The Contractor shall furnish all materials, labor, transportation, services, and equipment necessary to install landscape construction items as shown on the drawings and as specified herein.
- All construction work will conform work to requirements of latest adopted edition of uniform building code and other applicable local and state codes, ordinances and regulations.
- All federal, state and local laws and regulations governing this work are hereby incorporated into and made part of these plans. When these plans call for certain materials, workmanship or a level of construction that exceeds the level of federal, state, or local requirements, the provisions of these plans will take precedence.
- Refer to city and county standards for standard plans and specifications where applicable.
- All work shall be performed by a Texas licensed contractor.
- The Contractor shall be responsible to obtain any and all permits, fees, bonds and observations necessary to perform and complete his portion of the work.
- The Contractor shall be required to carry all workman's compensation, public liability and property damage insurance as required by all applicable codes, regulations and by the Owner.
- The Contractor shall be responsible to consult with site superintendent, appropriate agencies, and drawings for the purpose of verifying locations of underground utilities, pipes and structures. He shall take sole responsibility for costs incurred due to damage of said utilities if proper verification by Contractor was not performed. If any underground construction or utility lines are encountered by the Contractor in any excavation the Owner and Landscape Architect will be notified to resolve the conflict.
- The Contractor shall be responsible for coordinating other Contractor's work to properly execute Contractor's work.
- Prior to commencement of work, the Contractor shall verify, at the job site, all conditions and dimensions shown on the plans affecting the intended design of the landscape construction work. Any discrepancies shall be reported immediately to the Owner and Landscape Architect for resolution.
- The Contractor shall not willfully proceed with construction operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during design process. He shall bring such conditions immediately to attention of Owner's authorized representative for resolution. Contractor shall assume full responsibility for costs incurred and required modifications due to lack of providing such notification.
- If conflicts arise between actual size and layout of any construction element on-site and those indicated on drawings, the contractor shall contact Owner's authorized representative for resolution. Failure to make such conflicts known to Owner's authorized representative in a timely fashion may result in Contractor's responsibility to remove and reinstall items built incorrectly or at worst case, become unable to charge Owner for items built incorrectly.
- The Contractor shall verify property and limit of work lines prior to commencing work.
- Prior to installation, the Contractor will locate by stakes, or other means, all construction elements as delineated on the plans for review and approval by the owner and Landscape Architect.
- The Contractor shall replace or repair any existing materials that are damaged by Contractor during construction operations.
- The Contractor shall be responsible for any encroachment onto adjacent property, right-of-ways, easements, setbacks or any other legal property restriction either marked or unmarked.
- The Contractor shall be liable for damage to any utilities, construction, irrigation and planting elements, existing or new, marked or unmarked, and shall repair or replace any damaged improvements in a manner acceptable to the Owner.
- Contractor shall install felt expansion joints per detail at locations where paving abuts building walls, columns, steps, landscape walls and other fixed vertical surfaces, unless otherwise noted.
- The Contractor shall ensure that curved edges of paving, walls, curbs and other elements have smooth and continuous curves.
- The Contractor shall ensure that drain lines, irrigation lateral and mainlines, electrical conduit, sleeves, etc., are in place prior to installation of paving, curbs and walls.
- Written dimensions take precedence over scaling of drawings, in case of discrepancy, Contractor to notify Landscape Architect.
- The Contractor shall notify the Landscape Architect in sufficient time to perform a specified site observation task. Written notification of time given to the Landscape Architect may require the site visit to be canceled, or possibly, make contractor responsible to compensate the Landscape Architect for overtime. The Contractor will be responsible for notifying the Landscape Architect forty-eight (48) hours in advance to schedule the following site visits:
 - Pre-construction meeting.
 - Progress visits-Periodic site reviews shall be performed by the Landscape Architect during construction operations to verify conformance to plans and specifications.
 - Construction staking and layout-to verify proper layout and locations for all construction elements.
 - Rough construction progress-To review workmanship and construction techniques prior to completion of construction elements.
 - Final walk-through/project substantial conformance- The Owner and Landscape Architect will verify all work under the contract for completeness prior to acceptance of the work by the Owner.
- No site visit will be scheduled prior to completion of all previous punch list items, unless compliance has been waived by the Owner and Landscape Architect. Failure to accomplish the timely execution of previous punch list items and preparing adequately for the next site visit will make the contractor potentially liable for reimbursing the Landscape Architect for his labor and reimbursable expenses. No further site visits will be made until outstanding charges have been paid to the Landscape Architect by the contractor.
- The Contractor will be responsible and liable for any loss to equipment, parts and materials on this project until completion and acceptance of the job in writing from the Owner.
- The Contractor shall guarantee all work as to material and workmanship for a period of one year following the date of final acceptance of project. The Contractor will provide a written guarantee on his letterhead upon final inspection.
- The Contractor shall provide a written certification that the construction work is installed in full compliance with the contract documents. Any approved substitutions or deviations from the plans or specifications will be noted. This certification will be on the Contractor's letterhead with his signature and Texas Contractor's license number.
- The Contractor shall be responsible for finish grade & drainage of all construction elements at specified gradient per Civil Engineer.
- Contractor to pay special attention to drainage and field verify positive flow away from all buildings. Notify Landscape Architect of any discrepancies.
- The Landscape Architect shall be notified of any changes in the location of all air conditioners, transformers, or other on-site items.
- All grades, dimensions, and existing conditions shall be verified by the contractor prior to construction. Any discrepancies shall be brought to the attention of the Landscape Architect.
- No soil is to be hauled from the park site; however, leftover soil from trail excavation may need to be moved from the park's west parcel to the east parcel accessed off of Blanco Road. If necessary, leftover soil shall be hauled, dumped and spread within the park's east parcel. Coordinate with Landscape Architect and Owner for final location prior to construction.
- If any sensitive feature (caves, subsurface voids, etc.) is discovered during construction, all construction activities near the sensitive feature must be suspended immediately. The Construction Inspector shall be immediately notified of any sensitive features encountered during construction. The construction activities near the sensitive feature may not proceed until a US Fish and Wildlife Service (USFWS) permitted biologist has assessed the site for evidence of habitat or listed endangered species. If it is determined that endangered species or their habitat is present within the void space, consultations with the USFWS will commence and work within the immediate vicinity of the sensitive feature will not be allowed to proceed until all parties are in agreement regarding necessary permitting.

CONCRETE AND MASONRY NOTES

- The contractor shall notify the Owner and Landscape Architect of any discrepancies between the plans, details and notes.
- The Concrete Contractor shall be a Texas licensed Concrete Contractor. The Masonry Contractor shall be a Texas licensed Masonry Contractor.
- All construction and workmanship shall conform to the current edition of the Texas Building Code.
- The Contractor shall be responsible for obtaining a copy of and review the structural and geotechnical soils report for the project. Requirements of the report that are more stringent shall supercede those noted below.
- All existing fill soil and disturbed native soils are to be excavated and replaced with properly compacted fill per the structural soils report. All filling, backfilling, re-compaction, etc., is to be accomplished only under the supervision of and certified by a Soils Engineer.
- All pipe sleeving for drainage, irrigation and electrical service, beneath or embedded in concrete or masonry walls shall be coordinated with the appropriate subcontractors through the Owner and approved by the Owner.
- Aggregates for concrete shall be natural sand and rock conforming to ASTM c-893.
- Aggregates for mortar and grout shall be natural sand and rock conforming to ASTM c-144 and c-404.
- Cement shall be Portland cement conforming to ASTM low alkali cement, c-150, type II.
- Prior to preparing final mock up the contractor shall submit a 2' x 2', colored and finished sample for Owner and Landscape Architect review and approval.
- The Concrete Contractor shall furnish one mock up of each type of concrete finish and color specified in the drawings. Mock ups are to contain all proposed jointing. Locate the mock ups in a safe and convenient location. Approved mock ups shall be maintained as standards for finishes in later concrete work.
- All concrete block shall conform to ASTM c-90, grade n. Masonry will be lightweight unit fm, 1500 psi.
- Mortar shall be ASTM c 270, type S.
- All cement, aggregate, reinforcing steel, structural steel, etc. shall be from tested stock. Copies of test reports will be furnished to the Owner upon request.
- All concrete shall attain a minimum compressive strength of 3000 psi at 28 days. All concrete shall be type II low alkali cement include of "Mighty-Mono" fiber by Forta corp. (www.fortacorp.com) per cu yd. conc., in all flatwork.
- Lap all bars in concrete a minimum of thirty six (36). Times the diameter of the reinforcing bar (2'-6" minimum). At all splices. Lap all bars in masonry a minimum of forty (40). Times the diameter of the reinforcing bar (2'-6" minimum). At all splices. Unless noted otherwise. Splices of horizontal rebar in walls and footings will be staggered. Reinforcing steel shall conform to ASTM a615, grade 40, #4 and smaller and ASTM a615, grade 60, #5 and larger.
- Install doweled construction joints where different paving types abut and when paving work stoppages occur.
- Dowels for walls shall be same size and spacing as the wall reinforcement and shall lap with the reinforcing bar as noted above unless noted otherwise.
- Anchor bolts, Dowels, inserts, etc., shall be securely tied in place prior to the pouring of any concrete or grout. All exposed steel shall be hot dipped galvanized.
- Welding of reinforcing steel will conform to AWS a12-1 using proper low hydrogen electrodes.
- The following minimum clear distances between reinforcing steel and face of concrete shall be maintained unless noted otherwise:
 - Center of slab for slabs on earth.
 - 2" for concrete below grade, formed.
 - 3" for concrete below grade, unformed.
- All masonry shall be reinforced grouted solid masonry unless noted otherwise. Grout solid all cells which contain rebar, bolts, etc. Grout solid all cells below grade. All reinforcement, bolts, etc. in masonry shall have a minimum grout coverage of 3/4".
- Continuous inspection will be provided the owner by a testing laboratory for all field welding, concrete with specified compressive strength of 2500 psi or greater and caissons. Masonry will have continuous inspection where notes are called for in drawings.
- Footings will be of the size and type as indicated on the structural drawings.
- Masonry Contractor shall be responsible for backfilling around all walls to grades per grading plan, backfill and grading shall include installation of drainage swales and perforated drain lines behind retaining walls. Contractor shall install waterproofing at any wall where exposed face / finish of wall falls below finish grade behind the wall. Back fill material used behind retaining walls shall comply with requirements of geotechnical / structural soils report and installed accordingly. All retaining walls shall be adequately shored by the contractor during the backfill operation.
- Precision block walls as noted on the plans and details to be plaster finish shall receive a brown coat (3/8" thick min.) applied as noted.
 - Portland cement: 1 part
 - Hydrated lime: 1/4 part
 - Sand 1 1/2" : 4 parts
 - Anti-shrinkage agent: 3 oz. by weight per sack
- Follow brown coat with color finish coat - 1/8" thick min. Portland cement plaster - mix with water per Manufacturer's instructions except add one part admixture emulsion to three parts of water for all exterior plaster applied to the walls.
- All plaster finishes and colors will match referenced architecture or as directed by Landscape Architect, apply a sample area finish plaster coat of 4' x 4' For Landscape Architect review and approval prior to proceeding with balance of plaster work. Plaster textures to match finish on buildings in appearance and color. Verify with Landscape Architect for plaster color and finish.
- Apply non-yellowing water sealer to all plaster surfaces as approved by the Landscape Architect.
- Concrete colors and finishes shall be per construction plans and construction materials schedule.
- All concrete flatwork shall be a minimum of 4" thick. Reinforcing, sub-base and subgrade shall be per structural soils report and or structural engineer.
- All concrete flatwork will slope to drain at a minimum of 1%.
- All new concrete shall meet and match existing concrete. Engineer's or Architect's marks, driveways, concrete decks, pads, tops of curbs, etc. To be finish.
- Expansion joint spacing in concrete walks occurs at all changes in direction and will not exceed a maximum spacing of 20' on center. Expansion joint material will be as approved by the Landscape Architect.

- Masonry Contractor shall be responsible for all excavation necessary for the execution of masonry work and for backfill as noted above. Excess soil shall be disposed of by the contractor legally off site.
- Concrete delivery: Use of concrete loads exceeding 90 minutes from time of initial mixing at the batch plant must be approved by Owner's authorized representative.
- The concrete contractor shall ensure that batch plant guarantees a single source consistent supply for all cement, sand, and aggregate required or the entire project.
- Slip dowels ST construction and expansion joints: Install "speed dowels" (by greenstreak) or "diamond dowels" (by PHA construction technologies) or approved equivalent product at all construction joints or expansion joints. Slip dowels shall be installed per manufacturer's specifications and details. Spacing of slip dowels shall match spacing of reinforcing in slab but shall not exceed 24" on center.
- Prepare sub grade for all concrete flatwork and masonry walls as specified in the structural soils report including but not limited to moisture content and compaction. Sub-grade shall be compacted to a minimum of 95%. Install base material under slabs and footings as required by soils report.
- All concrete flatwork with natural gray color or integral color shall be sealed with a penetrating matte finish sealer that will not alter the color and texture / finish of the concrete. Install 1m. socalife "cure seal" (or approved equivalent) per manufacturer's specifications (tech-data bulletin b-204-01)
- All concrete flatwork with surface applied color and texture shall be sealed with a penetrating concrete sealer compatible with the color product. The sealer shall enhance the color and finish of the concrete, submit product literature and technical data to Landscape Architect for review and approval. Apply sealer per manufacturer's recommendations.
- Contractor shall install caulking in all expansion joints in concrete paving as shown on the plans, in the details and or specified herein. Caulking shall be 1m. socalife lithoseal trafficalk -3g (or approved equivalent), installed per manufacturer's specifications. Color of caulking shall match color of paving.

DEMOLITION NOTES

- Dispose of all materials as noted here on off-site in a legal manner. Contractor to follow all new City of San Antonio regulations for disposal.
- All landscape and grading plan base sheet information represented on these plans are not from "as-built" plans therefore all conditions must be verified by contractor. The contractor must confirm all conditions in the field affecting the satisfactory completion of all requested demolition work and report any and all discrepancies to the owner/landscape architect immediately. The Owner/Landscape Architect shall provide resolution direction prior to proceeding w/ any further demolition work.
- Existing tree locations and sizes represented on these plans were prepared from survey information documented in the field by Gary Trenkloach Jr., Surveyor with the City of San Antonio Park Project Survey Division, dated April 9, 2015. The contractor shall confirm all locations and report any and all discrepancies to the owner/landscape architect immediately.
- This plan is for the purpose of identifying the removal, demolition and salvage reference of landscape construction items only.
- Protect-in-place all adjacent properties improvements. Notify neighbors twenty-four (24) hours in advance if encroachment onto adjacent property is necessary.
- Contractor is responsible for repair and replacement of any damage to adjacent properties.
- Perform all clearing and grubbing work necessary.
- Confirm all existing utility features both above and below grade prior to any demolition work prescribed hereon.
- Confirm and protect all existing utility services 4 meters in place.
- Contact 811 "call before you dig" prior to any construction for verification of underground utilities.
- Protect-in-place all existing utilities, street improvements, curbs and gutter, corner cut-off, street lights, street signals, catch basins and other improvements not designated for removal.
- Contractor shall indicate all landscape to be saw-cut and removed for Owner and Landscape Architect approval prior to saw-cutting and demolition.

OWNERS RESPONSIBILITY

- The Owner will be responsible for determining property lines, right-of-ways, tract boundaries, grades, easements, utility locations (above and below grade) any other legal or physical elements, as required, for the successful completion of the work. Contractor will not be permitted to proceed with any work without determination of the above information.
- The City shall be responsible to pay for any and all permits, fees, bonds necessary to perform and complete the portion of the work.
- Any discrepancies in site conditions, drawings or specifications will be brought to the attention of the Owner and Landscape Architect immediately. It is the Owner's responsibility to consult with the Landscape Architect prior to any further work in that area. Any unreported discrepancy and continued work without written authorization from the Owner and Landscape Architect will be at the contractor's risk and expense.
- All questions relating to interpretation of the drawings and specifications, quality of work and acceptable fulfillment of intent of the contract documents will be decided by the Owner and Landscape Architect concurrently.

LANDSCAPE ARCHITECT'S REQ'D. FIELD OBSERVATION WORK

- These landscape architectural construction documents were prepared for the Owner with the understanding that the owner will use Garza Bury / Bury to provide full contract services including construction observation. Failure to use Garza Bury / Bury to complete the construction observation services set forth herein will significantly increase the risk of loss resulting from misinterpretation of the design intent, unauthorized modifications, and failure to detect errors and omissions in the plans and specifications before they become costly mistakes. In the event that Garza Bury / Bury does not complete the field observation services as described herein, the Owner or subsequent Owner (individuals or corporations who have purchased these plans with the project), agrees to hold harmless, indemnify, and defend Garza Bury / Bury from and against any and all claims.

LEGEND

	DETAIL REFERENCE SYMBOL
	MATERIALS REFERENCE SYMBOL
	SECTION SYMBOL
	ELEVATION SYMBOL
	EXISTING TOPOGRAPHY
	PROPOSED TOPOGRAPHY
	PROPOSED SPOTGRADE
	WATER FLOW DIRECTION
	JUNCTION BOX
	ELECTRICAL METER
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

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 TOLL FREE: 1-800-875-4455
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 TOLL FREE: 1-800-875-4455
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LEGEND & GENERAL NOTES

100% CONSTRUCTION DOCUMENTS

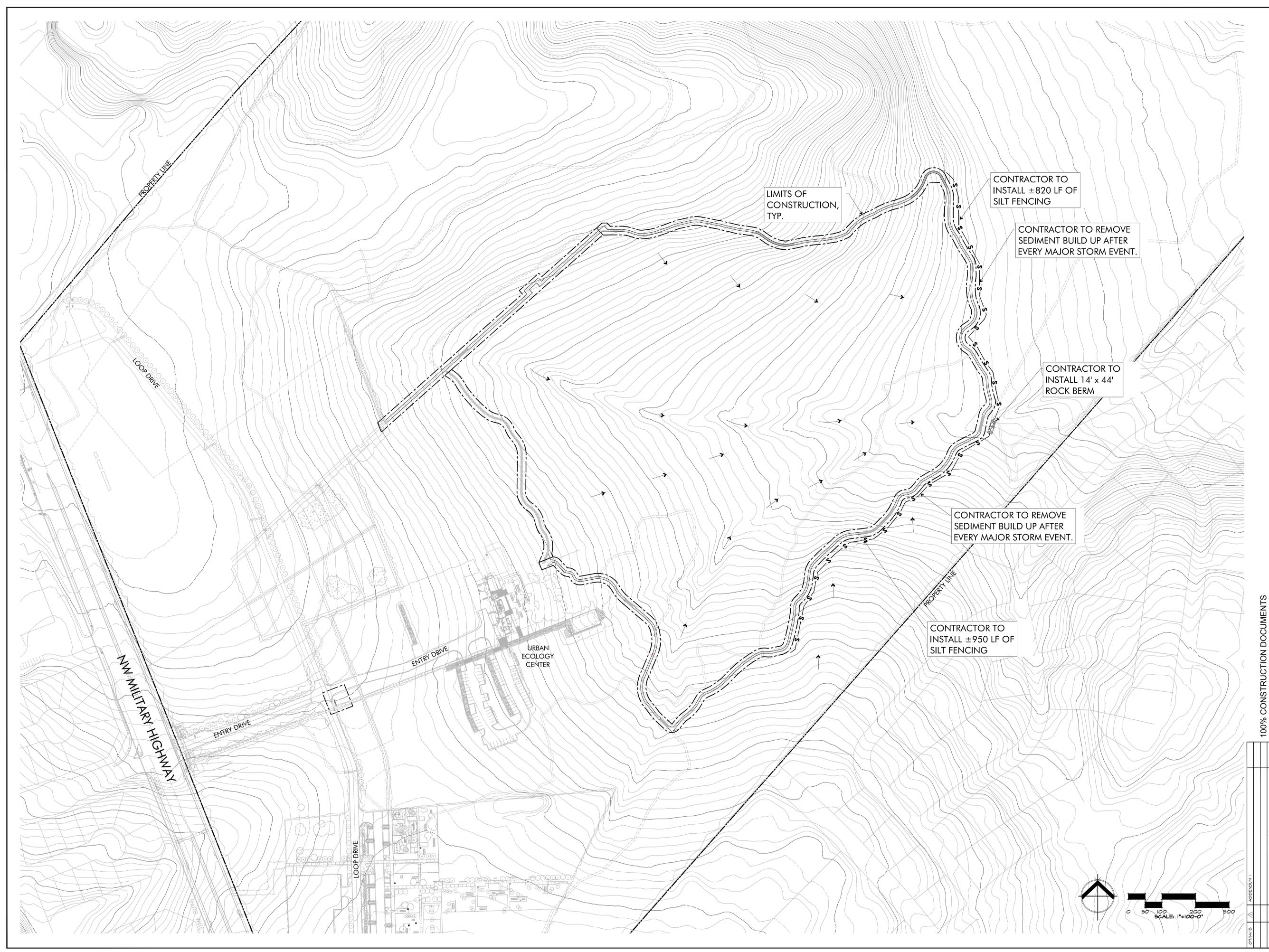
PHIL HARDBERGER PARK

8400 NW MILITARY HIGHWAY
 SAN ANTONIO, TEXAS 78230

DRAWN BY: JM, KR
 DESIGNED BY: DB, JM
 QA/CC: DB, JN
 PROJECT NO.: 04100796-00006

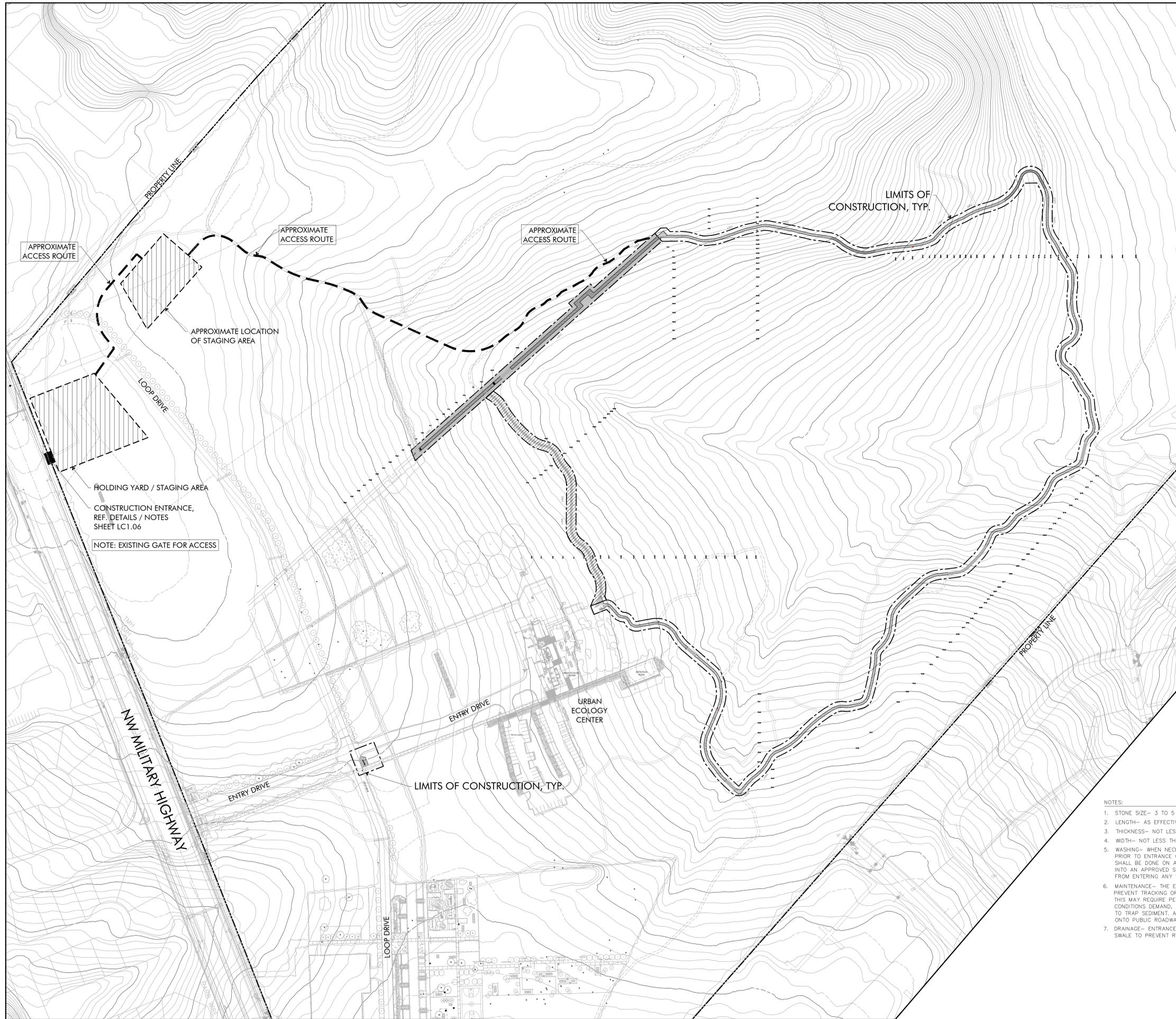
SHEET
LC1.01

DATE	NO.	REVISION	APPROVAL

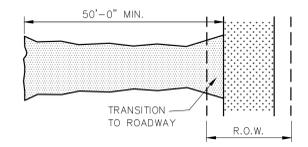


 <small>221 West Sixth Street, Suite 300 Austin, Texas 78701 Tel: (710) 296-3208 Fax: (710) 255-0599 TIRE # F-1048 TIRPLS # F-1010791 Copyright © 2015</small>	
	
BURY	
STORM WATER POLLUTION PREVENTION PLAN	
100% CONSTRUCTION DOCUMENTS	
PHIL HARDBERGER PARK	
8400 NW MILITARY HIGHWAY SAN ANTONIO, TEXAS 78230	
DATE: 07/14/15 SHEET: LC1.04	DRAWN BY: JM, KR DESIGNED BY: DB, JM QA/QC: DB, JN PROJECT NO.: 04100796-00006
APPROVAL:	REVISION:

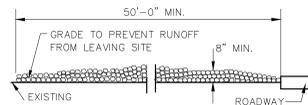
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CONSTRUCTION ENTRANCE

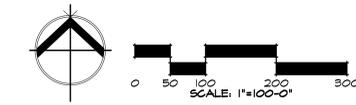


PLAN VIEW
N.T.S.



PROFILE
N.T.S.

- NOTES:
1. STONE SIZE- 3 TO 5 INCH OPEN GRADED ROCK.
 2. LENGTH- AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS- NOT LESS THAN 8 INCHES.
 4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED.
 6. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 7. DRAINAGE- ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



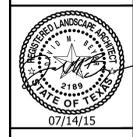
100% CONSTRUCTION DOCUMENTS

DATE	NO.	REVISION	APPROVAL
07/14/15	1	APPENDIX 1	

PHIL HARDBERGER PARK
8400 NW MILITARY HIGHWAY
SAN ANTONIO, TEXAS 78230

DRAWN BY: JM, MR
DESIGNED BY: DB, JM
QA/QC: DB, JN
PROJECT NO.: 04100798-00008

SHEET
LC1.06



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MATCHLINE SEE SHEET LH1.01

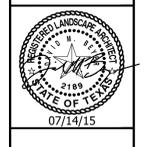


MATCHLINE SEE SHEET LH1.03

100% CONSTRUCTION DOCUMENTS	
DATE	NO.
07/14/15	1
DATE	REVISION
	APPROVAL
DRAWN BY: JM, JR.	
DESIGNED BY: DB, JM	
QA/QC: DB, JN	
PROJECT NO.: 04100799-00006	
SHEET	
LH1.04	

**HARDSCAPE AND GRADING
PLAN**

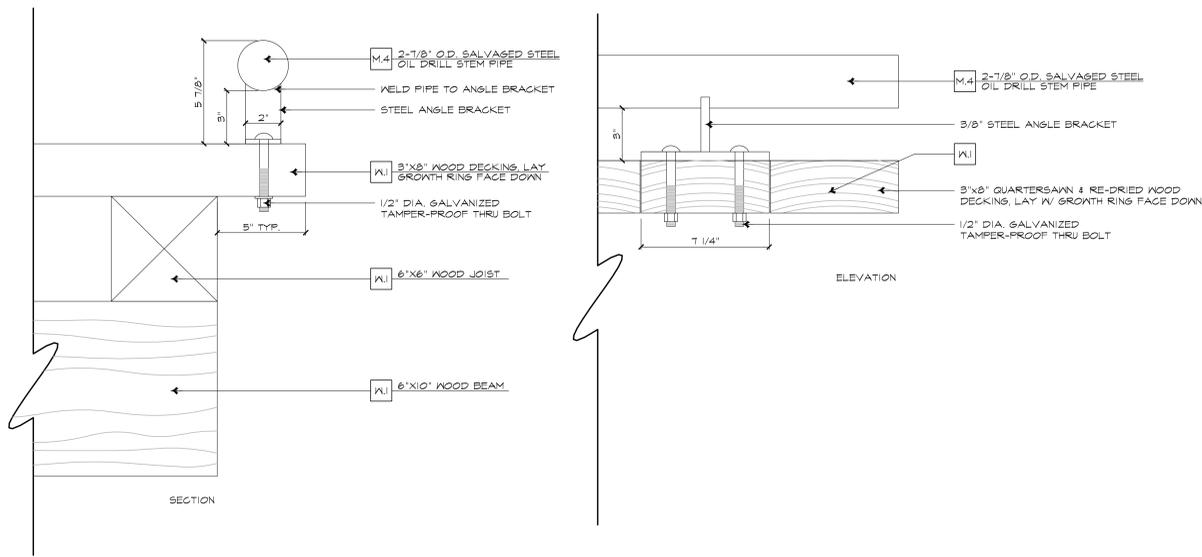
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SAN ANTONIO, TEXAS 78230



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Austin, Texas 78701
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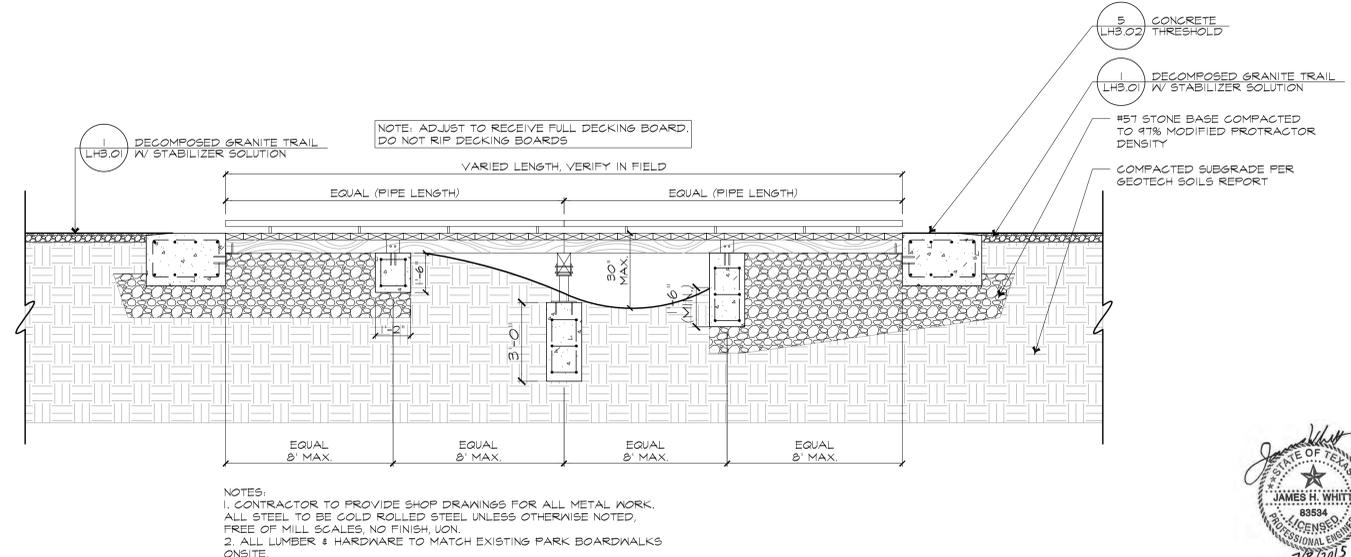
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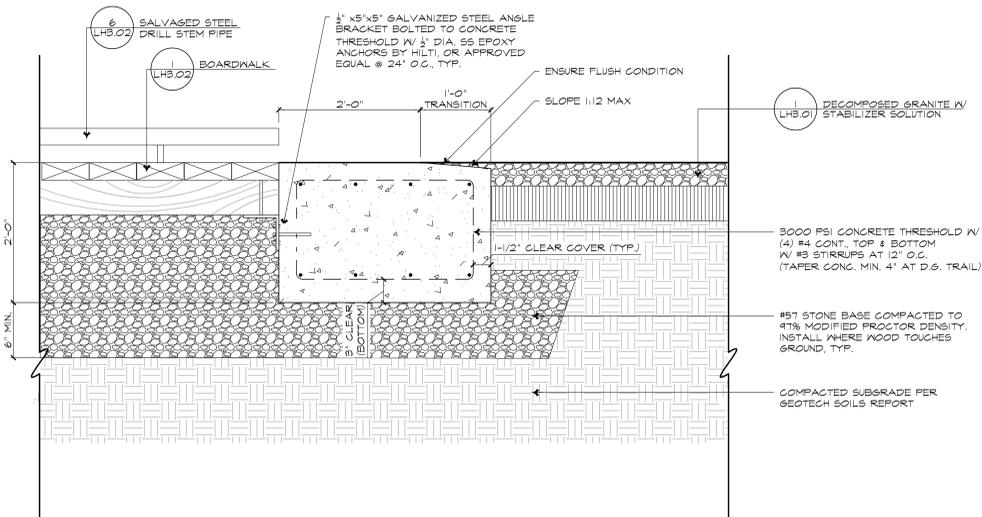
6 SALVAGED STEEL PIPE AT BOARDWALK
SECTION & ELEVATION

SCALE: 3"=1'-0"



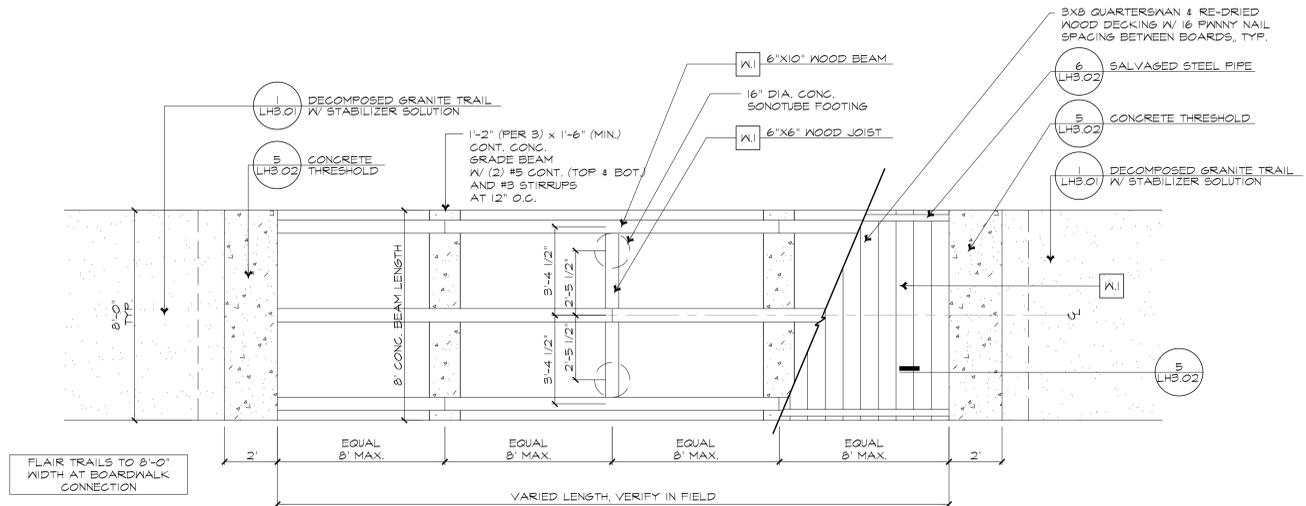
3 BOARDWALK AT TRAIL
SECTION

SCALE: 3/8"=1'-0"



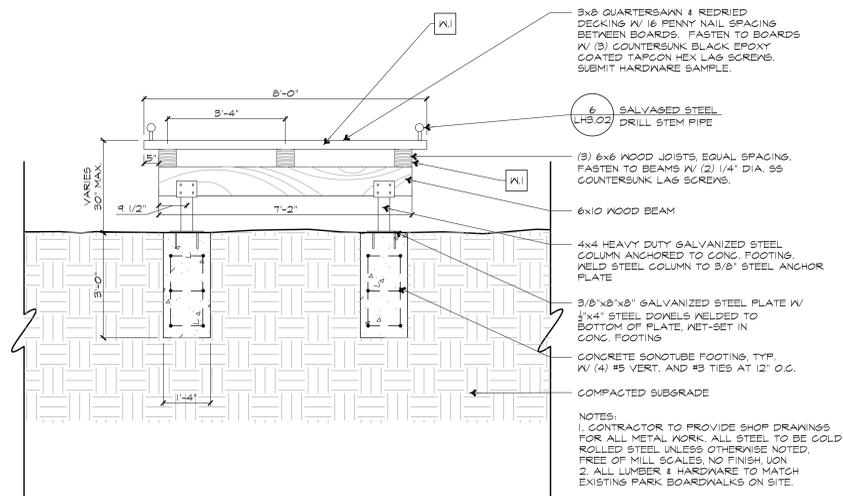
5 CONCRETE THRESHOLD
SECTION

SCALE: 1"=1'-0"



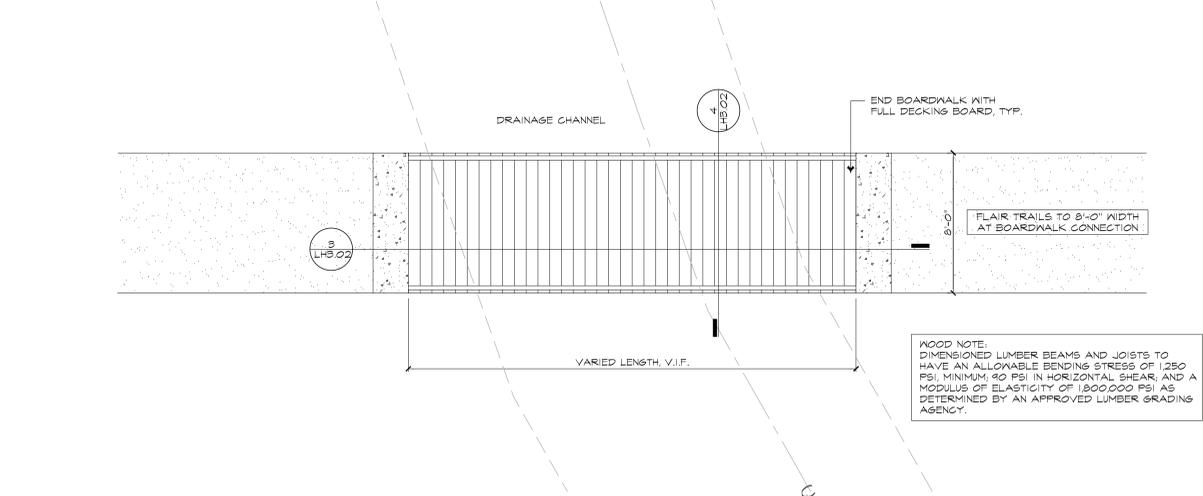
2 BOARDWALK AT TRAIL
JOISTS AND BEAM PLAN

SCALE: 3/8"=1'-0"



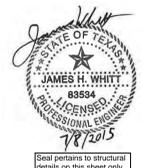
4 BOARDWALK AT TRAIL
CROSS SECTION

SCALE: 1/2"=1'-0"



1 BOARDWALK AT TRAIL
DECKING PLAN

SCALE: 1/4"=1'-0"



100% CONSTRUCTION DOCUMENTS

PHIL HARDBERGER PARK
8400 NW MILITARY HIGHWAY
SAN ANTONIO, TEXAS 78230

NO.	DATE	REVISION	APPROVAL

DRAWN BY: JM, KR
DESIGNED BY: DB, JM
QA/QC: DB, JN
PROJECT NO.: 04100798-00008

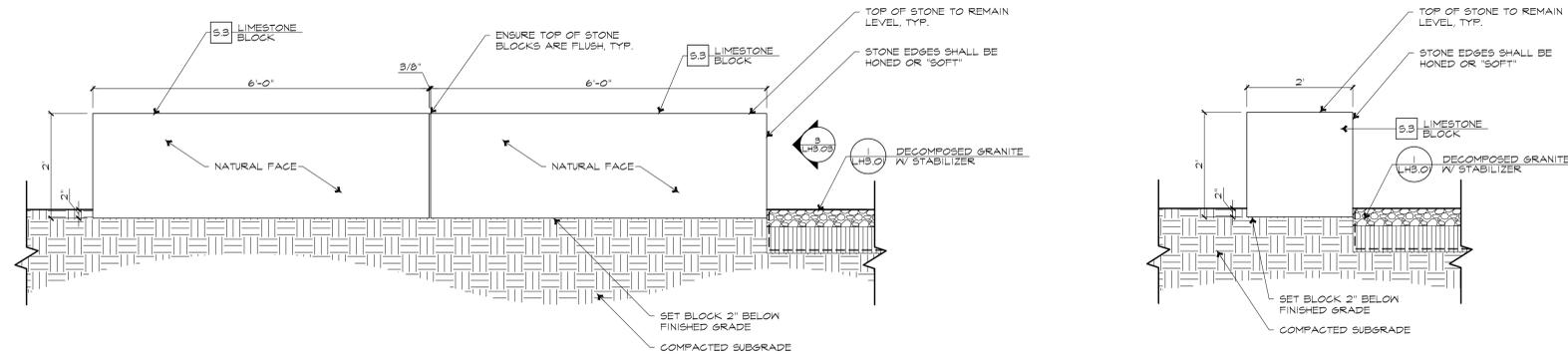
SHEET
LH3.02

HARDSCAPE DETAILS

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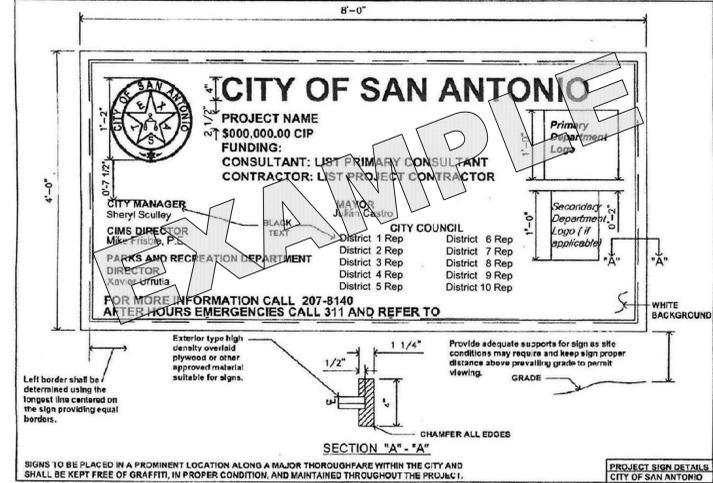
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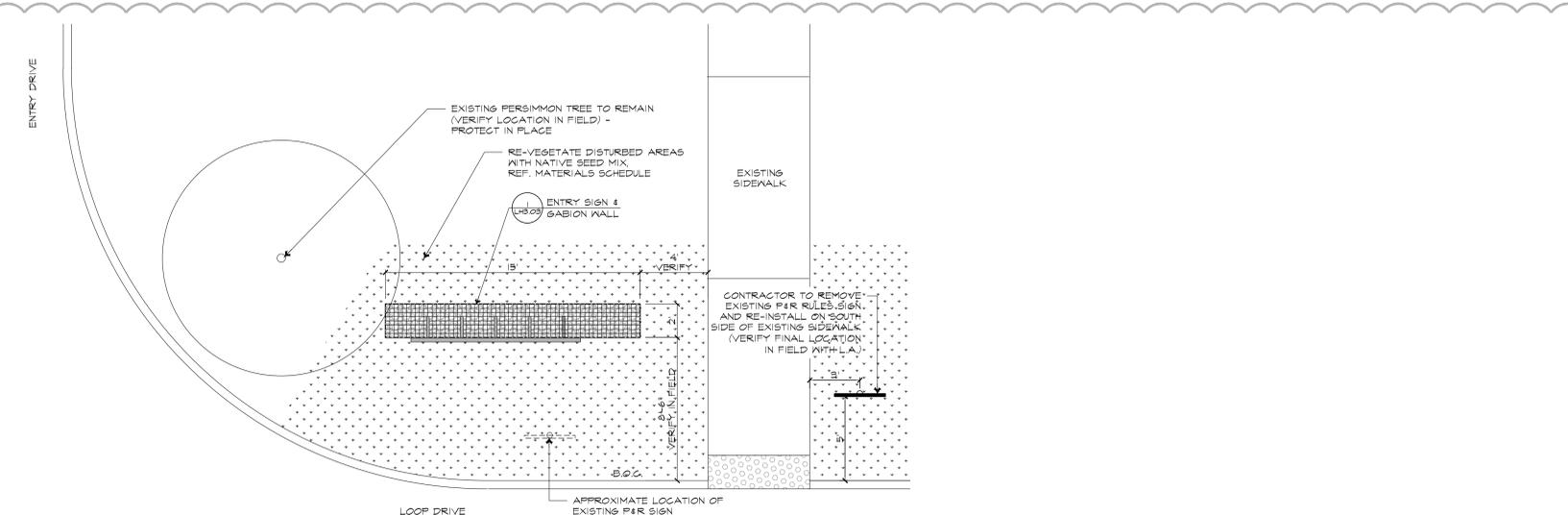
3 LIMESTONE BLOCK WALL
 SECTION/ELEVATION

SCALE: 3/4"=1'-0"



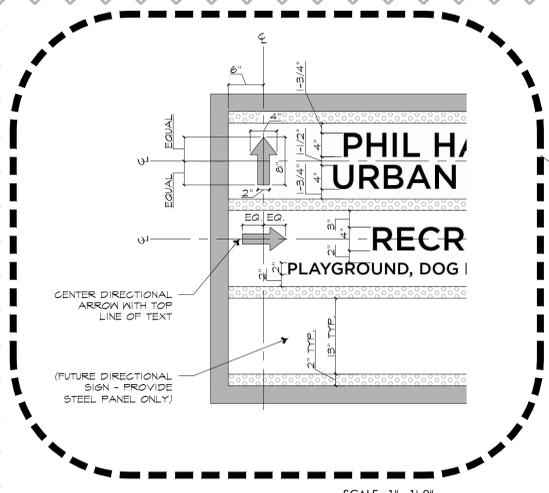
4 CONSTRUCTION PROJECT SIGN
 ELEVATION

SCALE: N.T.S.



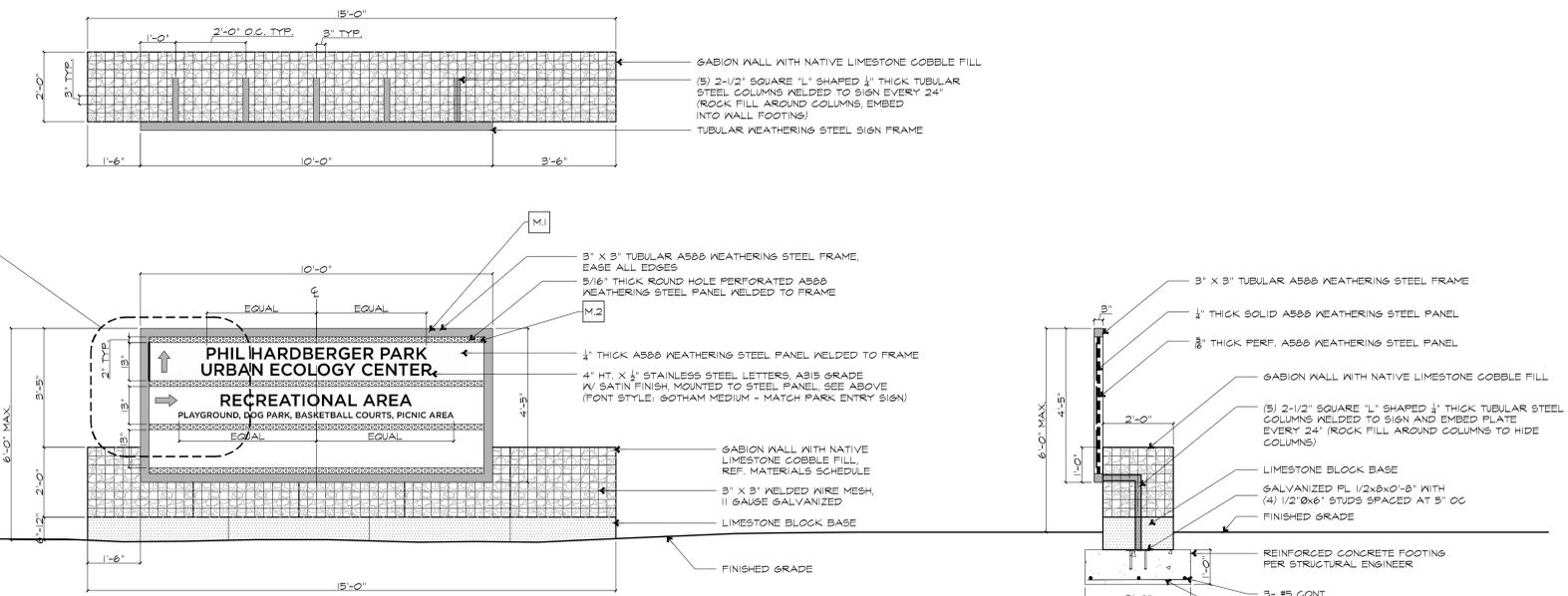
2 ENTRY DRIVE SIGN
 PLAN LAYOUT

SCALE: 1/4"=1'-0"



1 ENTRY DRIVE SIGN
 PLAN / ELEVATION / SECTION

SCALE: 1/2"=1'-0"



NOTE:
 CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT / OWNER APPROVAL. VERIFY SIGN COPY WITH OWNER PRIOR TO CONSTRUCTION.