

ADDENDUM NO. 3

DATE: July 28, 2014

RE: Hemisfair Historic Homes
Stabilization and Rehabilitation

Architect's Project No: 1312 A1

FROM: Fisher Heck, Inc., Architects
915 South St. Mary's Street
San Antonio, Texas 78205
(210) 299-1500

TO: All Plan Holders



This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated July 2, 2014 as noted below. Acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of 4 Page(s) and the attached items: 6-A1, 6-S1 & 16-S1.

CHANGES TO PROPOSAL REQUIREMENTS/CONTRACT FORMS AND CONDITIONS OF THE CONTRACT:

PROJECT MANUAL

1. Section 01 1000 Summary - Paragraph 1.03 B1 and C1: For scope of work related to foundation and other structural repairs to #6 – Kampmann House, project to be bid as if building was unoccupied.
2. Section 01 2100 Allowances - Delete Paragraph 1.04 A. Omit the allowance for Bird Spikes.
3. Section 07 7210 Bird Spikes - Provide pricing based on 50 noncontinuous linear feet of bird spikes on multiple buildings. Final locations will be determined in field.

ARCHITECTURAL DRAWINGS

1. Mayer/ Half House Building 308 - Door 'D2' on Sheet 5-A1 (plan and schedule) and on Sheet 5-A6 to be re-built utilizing as much original historic fabric as possible (as noted on above sheets).
2. Kampmann House Building 235 – Remove existing and repair flooring as required to complete structural repair, refer to the attached 6-A1.

STRUCTURAL DRAWINGS

1. See attached narrative from Alpha Consulting Engineers dated July 25, 2013.

CONTRACTOR QUESTIONS

1. On the architectural site plan is shows dark dashed lines around each home and light dash lines around much larger area. Are we to provide construction fence for the light dashed line.

Response: No

2. Sheet 5-A3 a note to “demo existing wood frame toilet addition and associated items, etc.” and at the end Says “Alternate Bid # X”. Is this an alternate?

Response: No, this work will be a part of the base bid.

3. Sheet 6-A1, 2 -Basement Plan, note 901 state to see structural for replacement of deteriorated column. Could not find anything on structural to indicate what size and type of column we are to use to replace with. Please provide information on this column.

Response: Note 901 shall read "REPLACE DETERIORATED COLUMN TO MATCH EXISTING".

4. Sheet 6-S1 Detail 2 Section, describes providing flowable fill. There is no depth given, what is the depth?

Response: See attached narrative from Alpha Consulting Engineers dated July 25, 2013.

5. Sheet 7-A1 note 006 is not shown on floor plan, can we assume it is in room 8 on the 2nd floor and the note should be on that page?

Response: Note 006 is located on the front porch on 1/7-A1 in the shaded area.

6. Will there be another site visit scheduled? And if so can it be for at least 4 to 6 hours to be able to go through each home more thoroughly?

Response: No further site visits will be scheduled. Refer to Addendum #1.

7. Sheet 2-A1 indicates two columns are to be spliced. Dtl. 5/2-A2 shows new column wraps. Do all columns receive new wraps or just the two that get spliced?

Response: Yes, all columns are to receive new column wrap as indicated on detail 5/2-A2.

8. Dtl. 3/11-A3 indicates a column is to be replaced. The related plans do not indicate which columns need replacement.

Response: No columns need to be replaced on House #11.

9. Spec section 06 4919 indicates the Espinosa house will get shutters. Plan notes do not show shutters.

Response: Espinosa house will not receive shutters and shall be removed from Section 06 4919.

10. When is the bid due?

Response: August 5, 2014 at 2:00 PM. Refer to Submission Instructions of the RSCSP document which can be found at <http://www.sanantonio.gov/purchasing/biddingcontract/opportunities.aspx>

11. Time frame to complete project?

Response: This is a 180-day calendar day contract. Refer to page 3 and 4 of the RFCSP document for calendar day and liquidated damages information.

12. Where can we get a pdf or set of plans?

Response: You may access plans at for this Project at <http://www.sanantonio.gov/purchasing/biddingcontract/opportunities.aspx>

13. We have now problem on the WSB and the MOB, even the AA business would not be hard, it's getting these subs to fill out the paperwork, any ideas on how to get them to comply or even fill out forms.

Response: The Small Business Utilization Plan must be completed by the Respondent not its subcontractors. Refer to the Form 5, Subcontractor/Supplier Utilization Plan of the RSCSP. If you need assistance in filling out these forms, kindly contact the Small Business Office before bids are due. The contact information can be found on Section VII of the RSCSP document.

14. Is Bonding required?

Response: A bid bond is required when responding to the solicitation. If the Respondent is selected, a payment and performance bond is required for this Project.

15. Estimated amount per each home?

Response: This information will not be provided. The estimated construction budget for this project is \$2,100,000.00 as indicated on the proposal form.

END OF ADDENDUM



July 25, 2014

Project: Hemisfair Historic Homes Stabilization and Rehabilitation

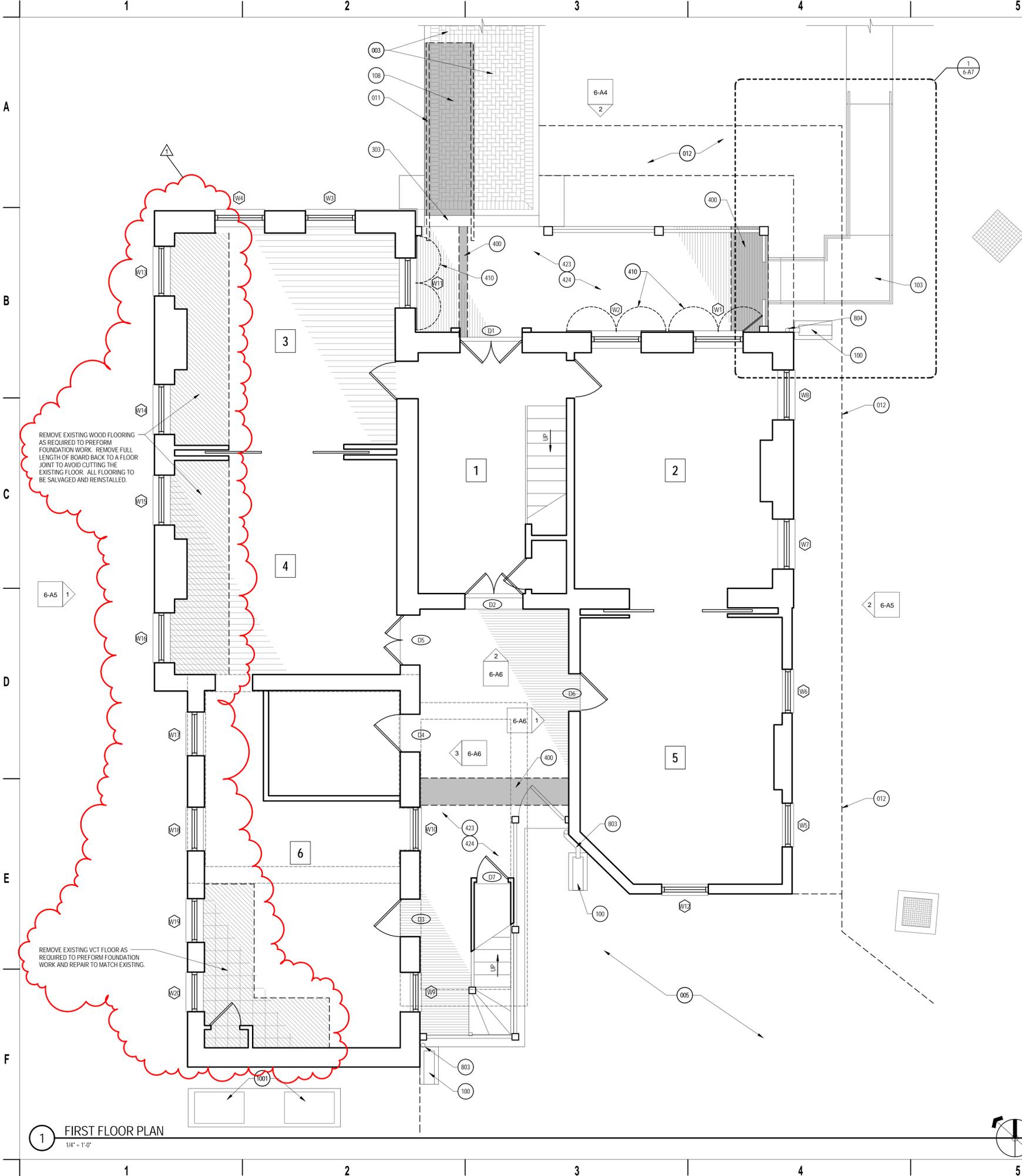
Addendum #3

Descriptive Narrative:

1. 5-S1-Delete note #3 on plan notes. Selective structural repair area consists of all new framing as indicated on plans.
2. 5-S2-Delete note #2 on plan notes. Selective structural repair area consists of all new framing as indicated on plans.
3. 5-S3-Delete note #2 on plan notes. Selective structural repair area consists of all new framing as indicated on plans.
4. 6-S3-Delete note #2 on plan notes. Selective structural repair area consists of all new framing as indicated on plans.
5. 7-S1-Delete note #3 on plan notes. Selective structural repair area consists of all new framing as indicated on plans.
6. 7-S2-Delete note #2 on plan notes. Selective structural repair area consists of all new framing as indicated on plans.
7. 7-S3-Delete note #2 on plan notes. Selective structural repair area consists of all new framing as indicated on plans.
8. 6-S1-Add following note under section 2/6-S1-Contractor to provide 6" minimum to 8" maximum flowable fill material.
9. 16-S1-Add following note under section 3/16-S1-Contractor to provide 6" minimum to 8" maximum flowable fill material.
10. 6-S1-Deleted hatch on existing stone wall that did not have a new footing on first floor plan. See revised sheet.

Alpha Consulting Engineers F-1010





DOOR SCHEDULE

See door repair and restoration specification for additional scope of door repair.

DOOR #	APPROX. DIMS.	HEAD	JAMB.	SILL	FINISH		REMARKS
					EXT.	INT.	
D1	PR 2'-6"x8'-6" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	2
D2	PR 2'-4"x8'-6" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	-
D3	3'-0"x8'-0" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	-
D4	3'-0"x8'-0" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	-
D5	PR 1'-6"x8'-0" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	-
D6	3'-0"x8'-0" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	1
D7	2'-6"x6'-6"	EXIST	EXIST	EXIST	PAINT	-	-
D8	PR 2'-0"x9'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D9	PR 2'-0"x9'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D10	PR 3'-0"x9'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D11	PR 2'-0"x9'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D12	2'-8"x7'-6" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	-
D13	3'-0"x8'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D14	3'-0"x8'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D15	3'-0"x8'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D16	3'-0"x9'-0"	EXIST	EXIST	EXIST	PAINT	-	-
D17	3'-0"x7'-0" w/ TRANSOM	EXIST	EXIST	EXIST	PAINT	-	1

GENERAL NOTES

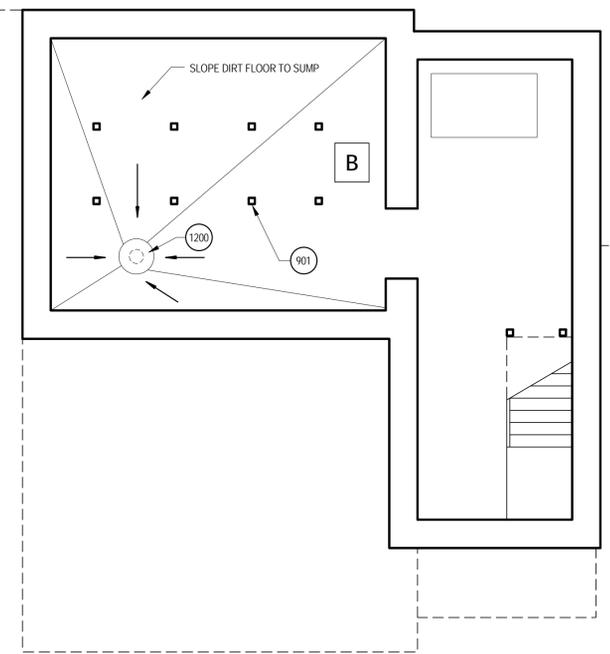
- PREPARE & PAINT ALL WOOD SURFACES INCLUDING DOORS, WINDOWS, TRIM, PORCH DECKS & CEILINGS, COLUMNS, RAILING FASCIA, ETC. (EXTERIOR REHABILITATED HOMES).
- PREPARE & PAINT ALL WOOD SURFACES INCLUDING DOORS, WINDOWS, TRIM, PORCH DECKS & CEILINGS, COLUMNS, RAILING FASCIA, ETC. (FRONT ELEVATIONS - STABILIZED HOMES).
- PREPARE & PAINT ALL EXTERIOR PLASTER (EXTERIOR REHABILITATED HOMES).
- REMOVE & REPLACE ALL PORCH SKIRTING; REPLACE WITH NEW LATTICE PANELS AS DETAILED IN 311-A3 & PAINT. FOR PORCHES WITH DECKS < 14".
- REMOVE & REPLACE ALL PORCH SKIRTING; REPLACE WITH NEW LATTICE PANELS AS DETAILED IN 6-A3 & PAINT. FOR PORCHES WITH DECKS > 14".
- INSTALL SPLASH BLOCKS AT ALL DOWNSPOUTS.
- REMOVE ALL PLANTS WITHIN 3' OF BUILDING.
- REMOVE ALL PLANTS GROWING UNDER REAR PORCHES OR LATTICE PANELS.
- SECURE LOOSE GUARDRAILS AND HANDRAILS.
- SECURE MISC. WOOD TRIM AND SHOE MOLDING TO PROVIDE TIGHT CONDITION REPAIR.
- EXISTING MECHANICAL SYSTEM TO REMAIN OPERATIONAL WHILE BUILDING IS VACANT.
- EXISTING ELECTRICAL SYSTEM TO REMAIN OPERATIONAL WHILE BUILDING IS VACANT.
- EXISTING PLUMBING SYSTEM TO REMAIN OPERATIONAL WHILE BUILDING IS VACANT.
- REMOVE ALL VEGETATION WITHIN 3' TO 5' OF BUILDING.
- INSTALL ICE & WATER SHIELD MEMBRANE AT METAL ROOF SLOPES BELOW 3/12.
- REMOVE ALL DEBRIS FROM ROOFS & GUTTERS.
- ADJUST GUTTERS TO DRAIN TO DOWNSPOUTS.

KEYNOTE LEGEND

- | | |
|------|---|
| 003 | EXISTING PAVING TO REMAIN |
| 005 | BRICK PAVERS TO BE REMOVED BY OTHERS |
| 011 | REMOVE EXISTING RAMP AND RAILING, SHOWN DASHED (SALVAGE EXISTING PAVERS) |
| 012 | REMOVE EXISTING BRICK PAVER WALK, SHOWN DASHED |
| 100 | NEW SPLASH BLOCK |
| 103 | NEW RAMP |
| 108 | INSTALL CONCRETE BORDER AND SALVAGED PAVERS TO MATCH EXISTING PATTERN |
| 303 | EXISTING LIMESTONE STEP TO REMAIN, DO NOT DAMAGE |
| 400 | REMOVE AND REPLACE TONGUE & GROOVE PORCH DECKING WITH NEW DECKING TO MATCH EXISTING |
| 410 | NEW SHUTTERS, PAINT |
| 423 | EXISTING DECKING, PREPARE & PAINT |
| 424 | EXISTING PORCH SOFFIT, PREPARE & PAINT |
| 803 | NEW DOWNSPOUT |
| 804 | EXTEND EXISTING DOWNSPOUT |
| 901 | REPLACE DETERIORATED COLUMN TO MATCH EXISTING |
| 1001 | EXISTING CONDENSING UNIT |
| 1200 | NEW SUMP PUMP AND BASIN, SEE MEP |

REMARKS:
 1. REPLACE TRANSOM GLAZING WITH CLEAR SINGLE PANE GLASS.
 2. INSTALL NEW TRANSOM GLAZING WITH CLEAR SINGLE PANE GLASS.

GENERAL NOTES:
 1. Prepare and paint door, frames and trim (exterior and interior).



1 FIRST FLOOR PLAN
1/4" = 1'-0"

2 BASEMENT PLAN
1/4" = 1'-0"

7/28/2014 1:56:54 PM



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PROJECT: HEMISFAIR HISTORIC HOMES STABILIZATION AND REHABILITATION
6 - KAMPMANN HOUSE - REHABILITATION
 600 HEMISFAIR PLAZA WAY, BUILDING 235, SAN ANTONIO, TEXAS 78205
 FIRST FLOOR PLAN

PROJECT NO. 1312 A1
 REVISIONS DATE
 1 ADDENDUM #3 7/28/2014

SHEET NO.
6-A1

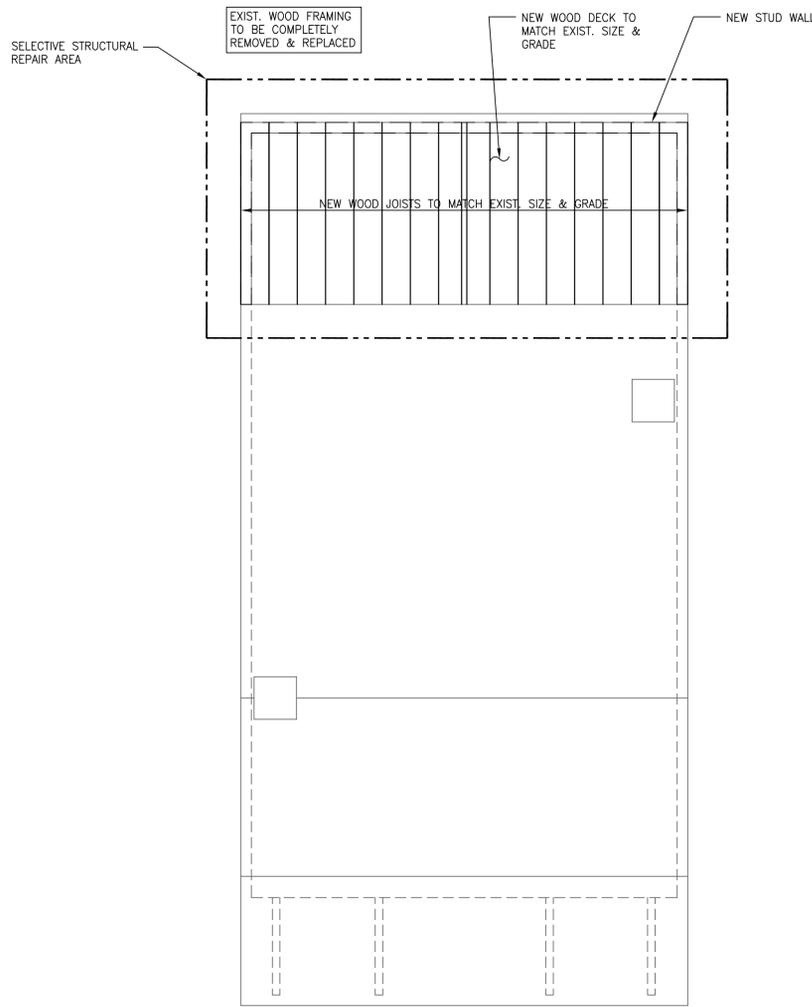
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PLOT SCALE 1/4" = 1'-0"

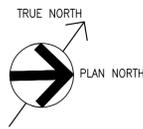
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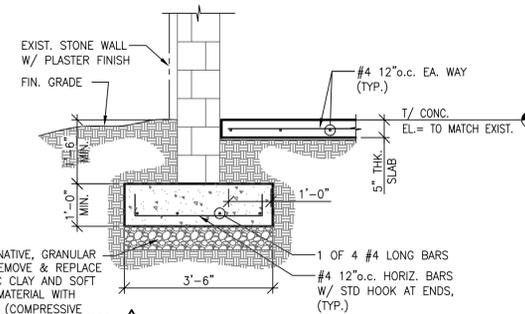
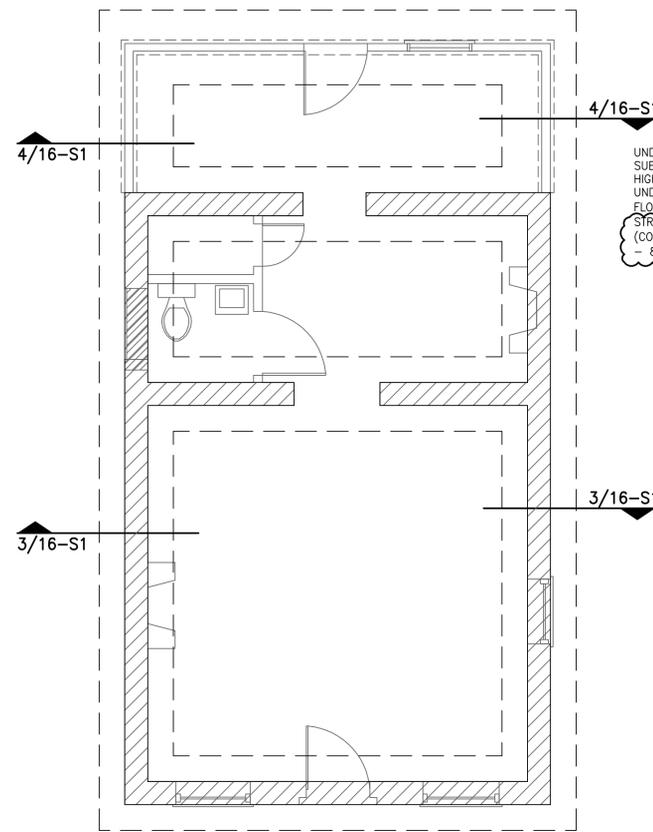
2 ROOF PLAN
SCALE : 1/4" = 1'-0"



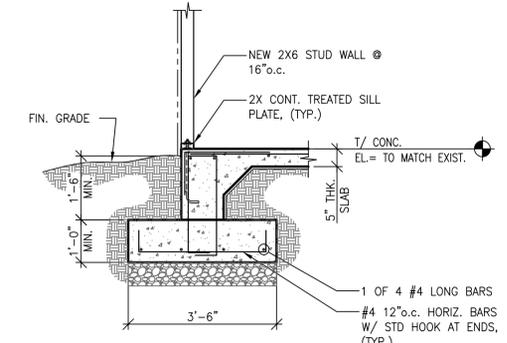
1 FLOOR PLAN
SCALE : 1/4" = 1'-0"

PLAN NOTES

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- PROPOSED FOUNDATION STABILIZATION/REHABILITATION REPAIRS AND /OR RECOMMENDATIONS WILL BE EFFECTIVE ONLY AFTER THE IMPROVEMENTS OF GRADING AROUND THE EXTERIOR OF THE BUILDING. REFERENCE ARCHITECTURAL/CIVIL DRAWINGS FOR PROPOSED SITE IMPROVEMENTS

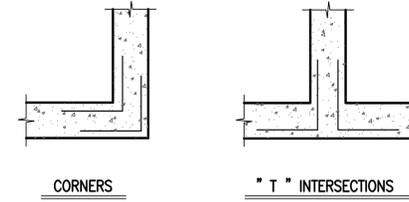


3 SECTION
SCALE : 1/2" = 1'-0"

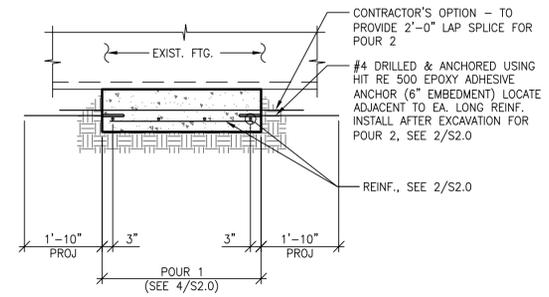


4 SECTION
SCALE : 1/2" = 1'-0"

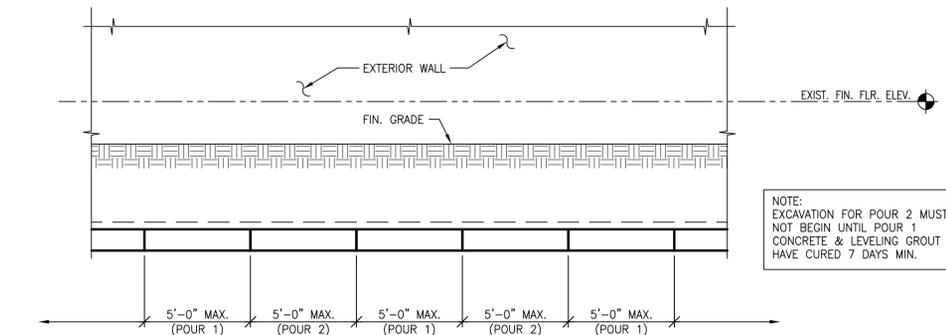
NOTE:
DRILL & INSTALL ANCHORS ONLY AFTER CONCRETE HAS CURED 7 DAYS



5 TYP. CORNER BAR DETAIL @ GRADE SUPPORTED FOUNDATION
SCALE : N.T.S.



6 TYP. FOOTING SEGMENT ELEV. (POUR 1)
SCALE : 1/2" = 1'-0"



7 TYPICAL ALTERNATING PLACEMENT SEQUENCE
SCALE : 1/4" = 1'-0"

NOTE:
EXCAVATION FOR POUR 2 MUST NOT BEGIN UNTIL POUR 1 CONCRETE & LEVELING GROUT HAVE CURED 7 DAYS MIN.



REVISIONS	DATE
3	7-25-14

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PLOT SCALE 1/4" = 1'-0"

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1 2 3 4 5 6 7

A

B

C

D

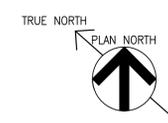
E

F

EXIST. WOOD FLOOR FRAMING TO REMAIN
SELECTIVE STRUCTURAL REPAIR AREA

2/6-S1

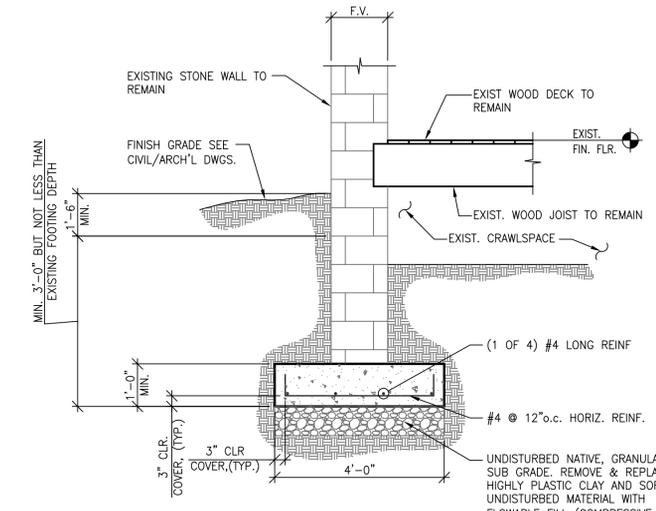
NEW CONCRETE FOOTING



1 FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

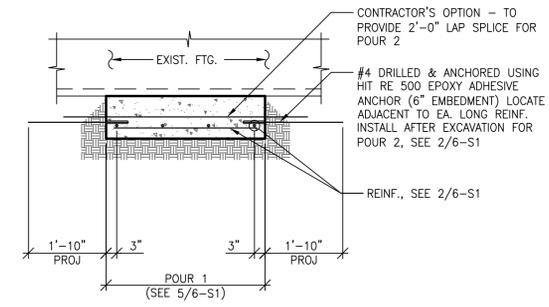
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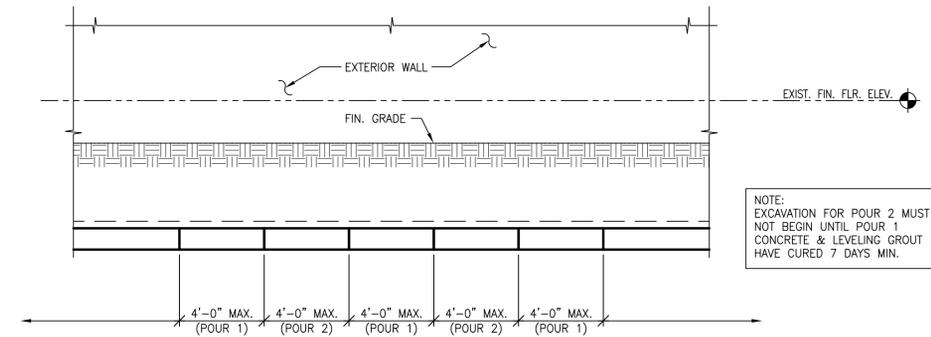


2 SECTION
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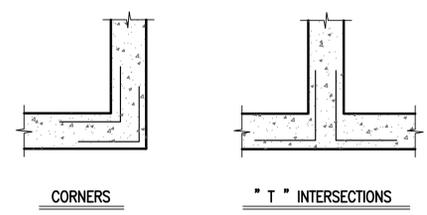
NOTE:
DRILL & INSTALL ANCHORS ONLY AFTER CONCRETE HAS CURED 7 DAYS



4 TYP. FOOTING SEGMENT ELEV. (POUR 1)
SCALE : 1/2" = 1'-0"



5 TYPICAL ALTERNATING PLACEMENT SEQUENCE
SCALE : 1/4" = 1'-0"



PROVIDE CORNER BARS AT ALL EXTERIOR CORNERS OF GRADE SUPPORTED BEAMS AND AT ENDS OF ALL INTERIOR GRADE BEAMS. BARS SHALL BE SAME SIZE AS BEAM REINFORCING AND SHALL LAP 40 BAR DIAMETERS WITH BEAM TOP AND BOTTOM REINFORCING. GRADE BEAM AND SLAB REINFORCEMENT SHALL BE CONTINUOUS WITH 40 BAR DIAMETER (NOT LESS THAN 18 INCHES) LAP AT ALL SPLICES.

3 TYP. CORNER BAR DETAIL @ GRADE SUPPORTED FOUNDATION
SCALE : N.T.S.

1 2 3 4 5 6 7

**CITY OF SAN ANTONIO
TRANSPORTATION AND CAPITAL IMPROVEMENTS DEPARTMENT
CONTRACT SERVICES DIVISION**

RECEIPT OF ADDENDUM NUMBER(S) 3 IS HEREBY ACKNOWLEDGED FOR PLANS AND SPECIFICATIONS FOR **HEMISFAIR HISTORIC HOMES STABILIZATION AND REHABILITATION** FOR WHICH PROPOSALS WILL BE OPENED ON **AUGUST 5, 2014.**

THIS ACKNOWLEDGEMENT MUST BE SIGNED AND RETURNED WITH THE PROPOSAL PACKAGE.

Company Name: _____

Address: _____

City/State/Zip Code: _____

Date: _____

Signature

Print Name/Title